

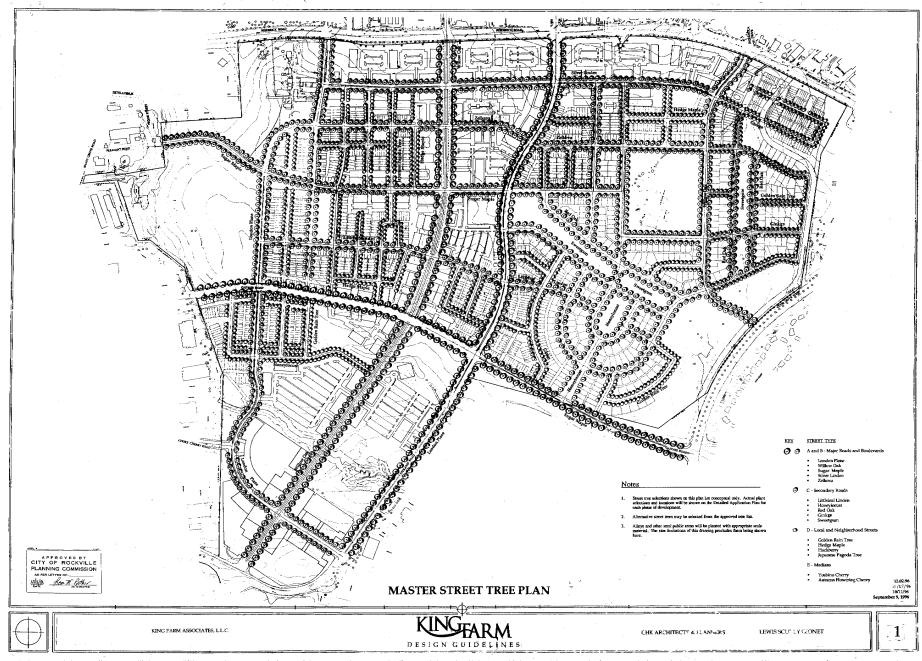
- Design Guidelines
- Modification Guidelines
- Clarifications & Updates



• Design Guidelines

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		DESIGN GUIDELINES
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City of Rockville : Resolution 10-96

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KING FARM ASSOCIATES, L.L.C.

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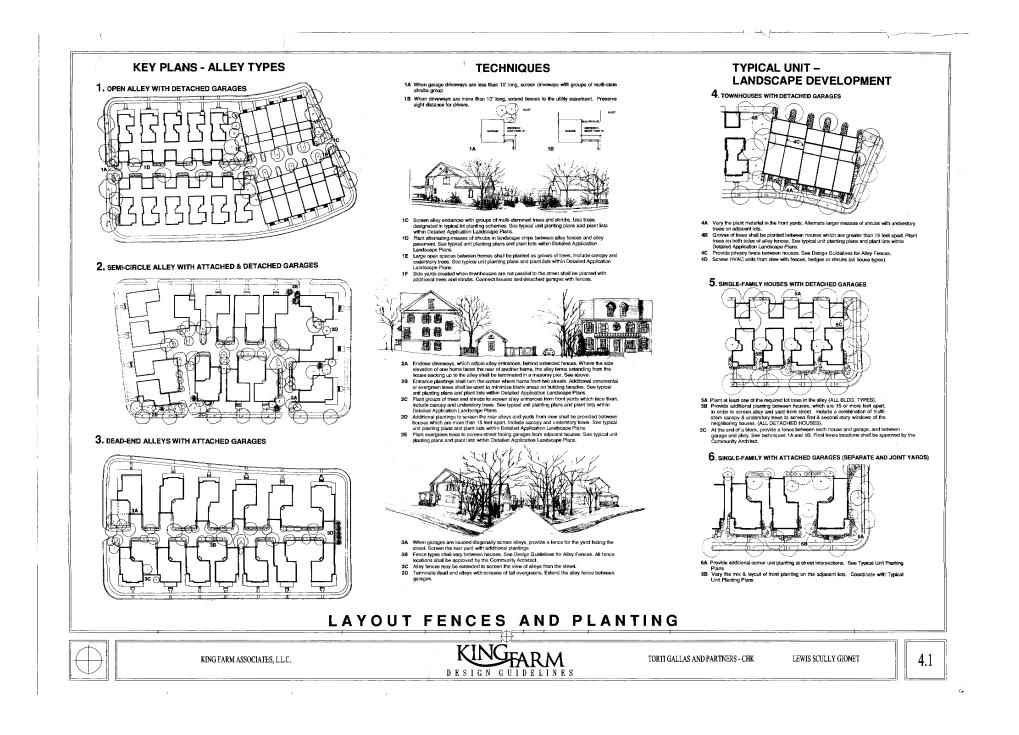
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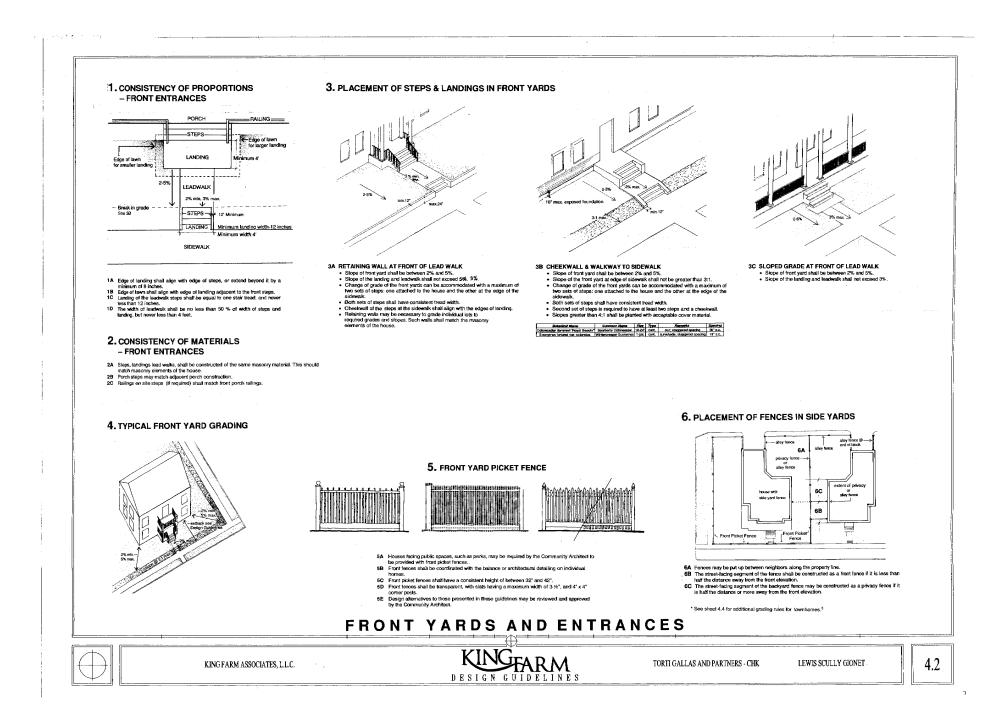
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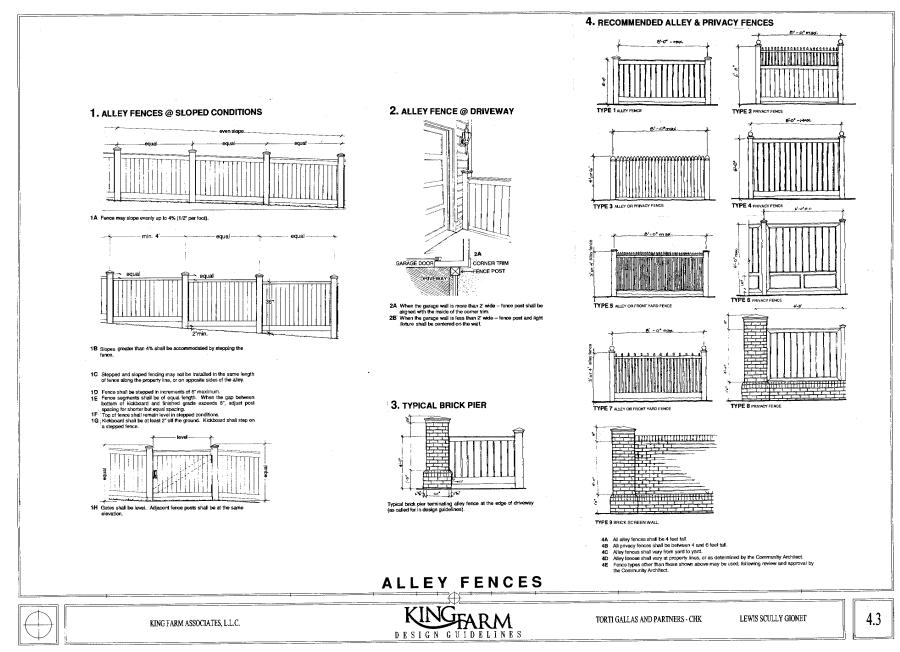
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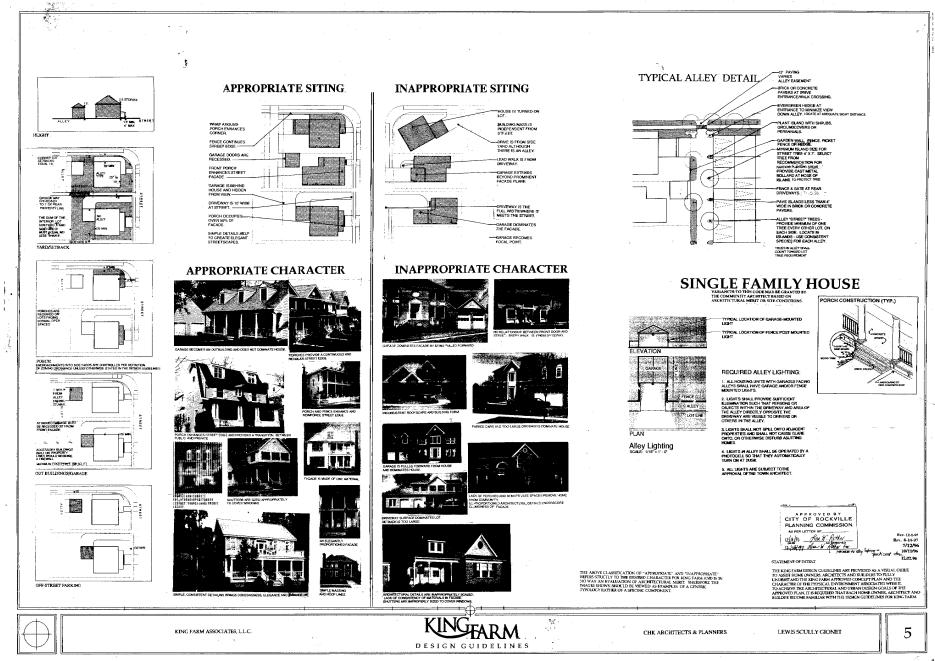
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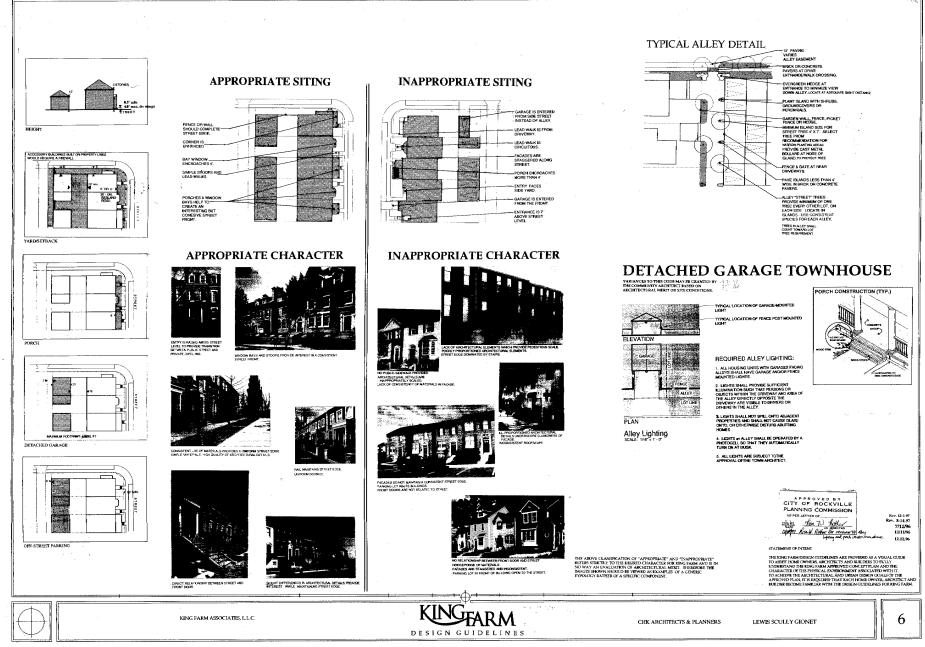
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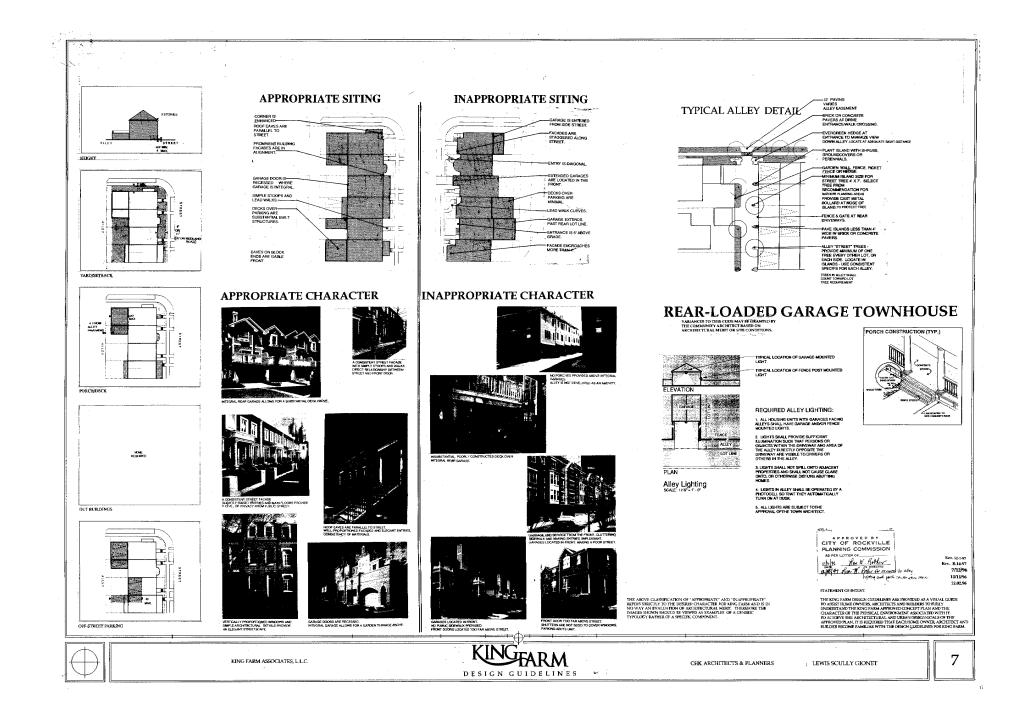










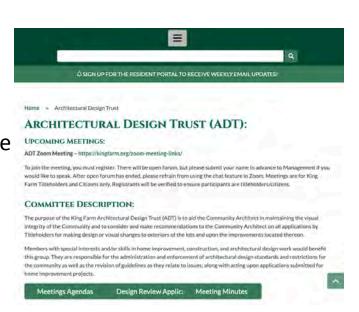




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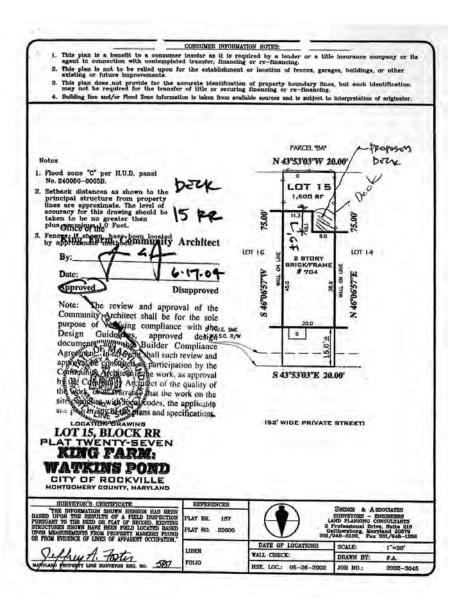
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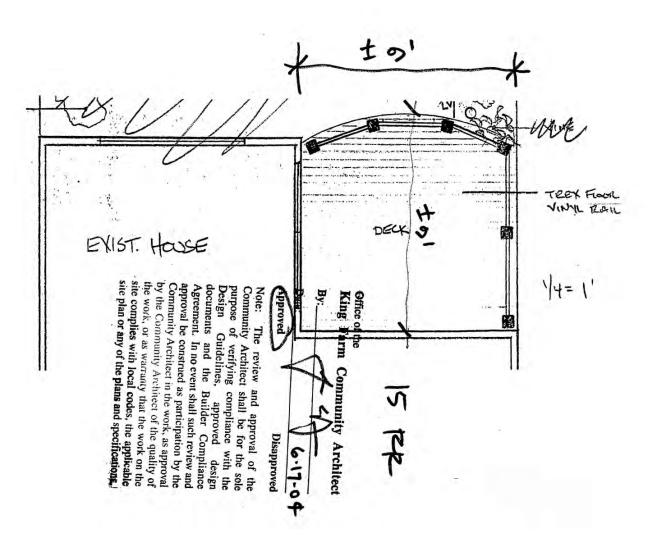
- 4 Citizens and King Farm Community Architect
- Meet one time each month at Community Room in Village Center / Virtually in Covid
- Vision: Maintain and Enhance Community Standards
- What we do
 - Review applications
 - Be Proactive: education and suggest guideline changes to Board
 - Keep it Simple:
 - Keep it Realistic
- Find Updates at Website

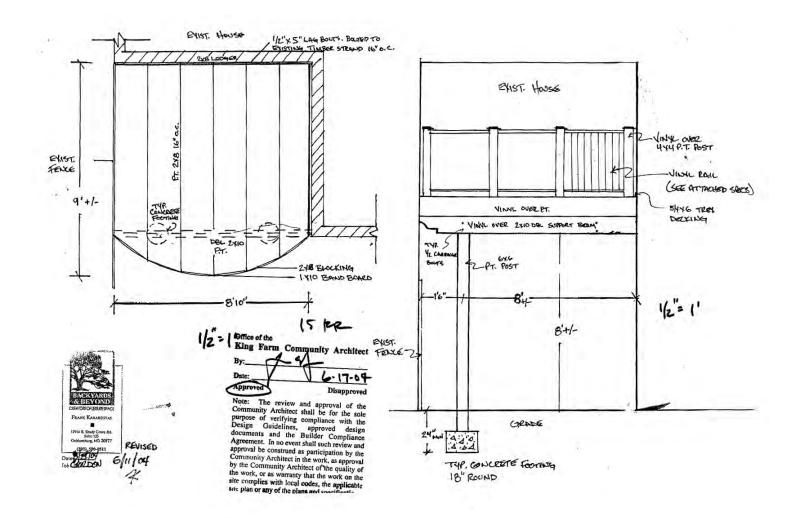


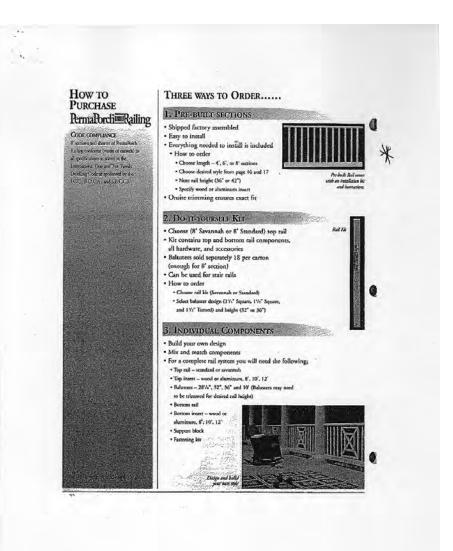
Design Review Application

- Application Process:
 - 1. Fill out Application Completely
 - 2. Turn in to Community Manager
 - 3. Community Manager Reviews
 - 4. Community Architect Reviews
 - 5. ADT Reviews
 - 6. Notification by the Community Manager
 - Less than a month if application is complete













- Updates
- -- Updated Design Guide
- -- Revised, more readily understood guidance for residents on material, roof, deck and other replacement and modifications