

KING FARM

- Design Guidelines
- Modification Guidelines
- Clarifications & Updates

KINGFARM

- Design Guidelines

KING FARM

DESIGN GUIDELINES

REVISIONS

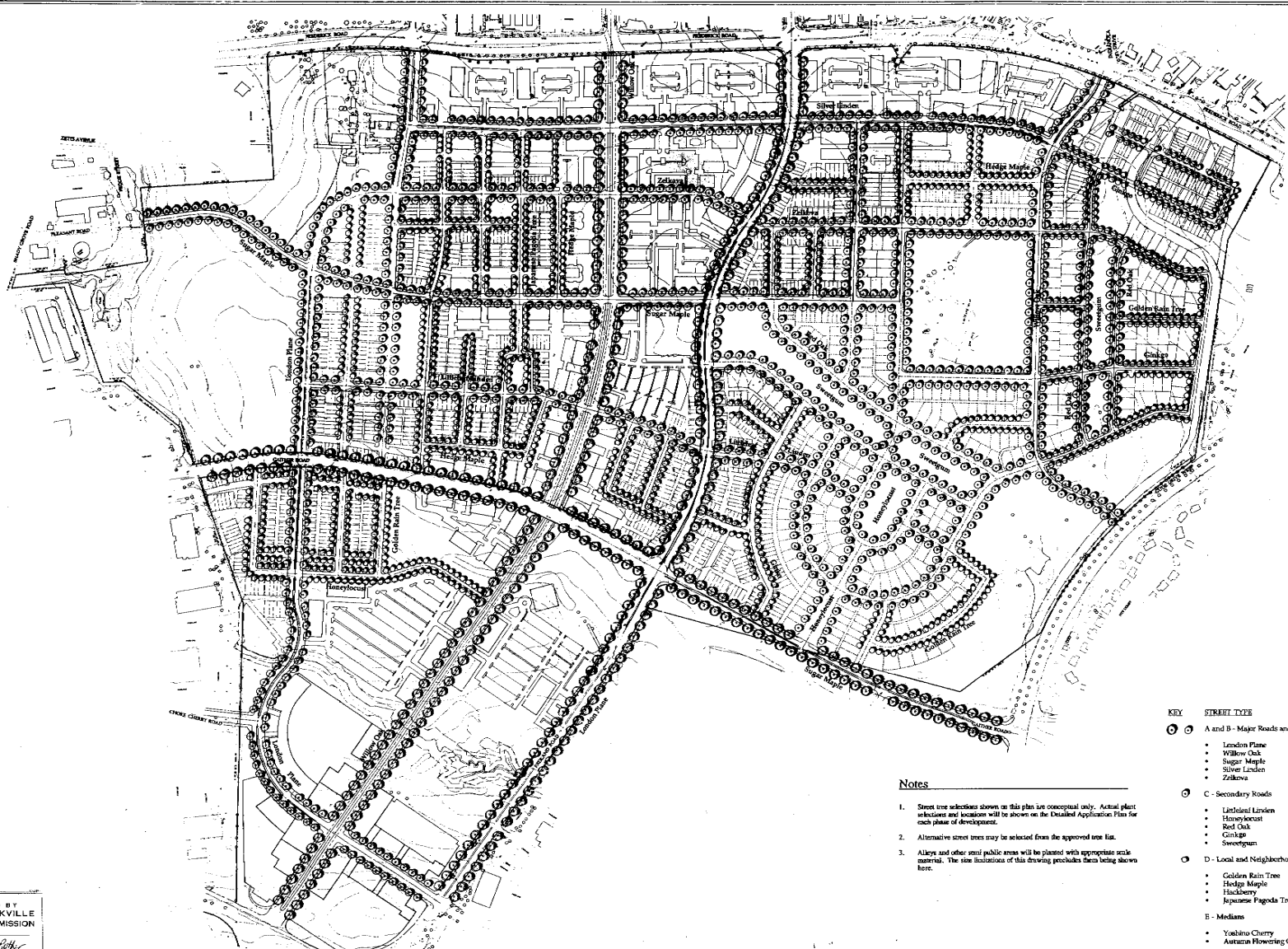
#	Date	Page	Description of Change
1	8.14.97	5-7	Required Alley Lighting
2	12.1.97	5-7	Porch Construction, (Typ.)
3	3.18.98	3	Text Changes (in italics)
4	2.1.99	3	Text Changes (in italics)
		4, 42, 43	Landscape requirements
		5	15' to 18' setback
		6	0.5' to 4.0' max. stoop height
5	7.13.01	3	Text Changes (in italics)
		42, 44	Landscape requirements

OWNER: KING FARM ASSOCIATES, L.L.C. 15285 SHADY GROVE ROAD, SUITE 200 ROCKVILLE, MARYLAND 20850
TOWN PLANNER: CHRIS ARCHITECTS & PLANNERS 100 SPANGLER STREET, SUITE 502 SILVER SPRING, MARYLAND 20910
LANDSCAPE ARCHITECT: LEWIS SCULLY GRONET 820 OLD COURSE ROAD, SUITE 100 VIENNA, VIRGINIA 22180

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APPROVED BY
CITY OF ROCKVILLE
PLANNING COMMISSION
AS PER LETTER OF
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- KEY STREET TYPE**
- A and B - Major Roads and Boulevards
 - London Plane
 - Willow Oak
 - Sugar Maple
 - Silver Linden
 - Zelkova
 - C - Secondary Roads
 - Liriodendron
 - Honeylocust
 - Red Oak
 - Ginkgo
 - Sweetgum
 - D - Local and Neighborhood Streets
 - Golden Rain Tree
 - Hedge Maple
 - Hackberry
 - Japanese Pagoda Tree
 - E - Medians
 - Yoshino Cherry
 - Autumn Flowering Cherry

- Notes**
1. Street tree selections shown on this plan are conceptual only. Actual plant selections and locations will be shown on the Detailed Application Plans for each phase of development.
 2. Alternative street trees may be selected from the approved tree list.
 3. Alleys and other small public areas will be planted with appropriate scale material. The site indications of this drawing preclude them being shown here.

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AS PER LETTER OF
[Signature]
DATE *[Date]*

MASTER STREET TREE PLAN

12.02.96
11/27/96
10/11/96
September 9, 1996



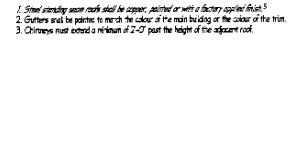

KING FARM ASSOCIATES, L.L.C.

KING FARM
DESIGN GUIDELINES

CHK ARCHITECTS & PLANNERS

LEWIS SCULLY GONNET

1

RESIDENTIAL CATEGORIES	MATERIALS	FORMS AND TYPES	BUILDING TECHNIQUES	MISCELLANEOUS
EXTERIOR WALLS	<ol style="list-style-type: none"> Exterior building walls may be constructed of brick, stone, wood siding, composition siding or stucco with a smooth finish. Colors should be used in an accent manner.¹ The following are highly considered and preferred: <i>Westerly Technologies Co., Cornerstone Western Technologies Co., Cornerstone Ceramco Building Co., Cornerstone Ceramco Building Co./Westerly</i> Exterior walls shall include walls of TOWNHOUSE types shall be constructed of brick, stone, wood siding or stucco with a smooth finish. Vinyl siding is permitted on side elevations above the second story in the garage only. Rear walls of TOWNHOUSE types may be constructed of siding. ALL MULTI-FAMILY RESIDENTIAL BUILDINGS shall have a significant brick base that meets grade. Foundation walls shall be constructed of brick, stone, or concrete finished with a vinyl plaster. 	<ol style="list-style-type: none"> All building materials and colors must be submitted for approval to the Community Architect.⁴ All vinyl siding must be painted or coated. Vertical corner boards shall be no less than 6" wide in both directions.⁴ All trim used with siding shall be a minimum of 3/4" thick.⁵ 	<ol style="list-style-type: none"> Brick shall be covered in horizontal running bond, common bond or Flemish bond. Accent patterns may be used on side, front, chimneys, etc. All siding shall be arranged in 2" to 3" to the weather. All corner boards of any DETACHED SINGLE FAMILY RESIDENCES on a corner lot shall be made of the same material and detail. Brick used on a front facade only must return to the side facade a minimum of 20'.³ Stone used on a front facade must return to the side facade a minimum of 12'. Concrete foundation walls of any RESIDENTIAL BUILDING having a story that is visible to more than 10' high. No more than two surface materials shall be used on any one facade of the MULTI-FAMILY BUILDINGS. 	<ol style="list-style-type: none"> Variances from the King Farm Design Guidelines may be granted by the Community Architect for the following architectural items and conditions. Others shall be approved by the City Clerk of Planning. The developer retains the right to alter or change the Design Guidelines or later file any variances?⁶ The Community Architect will be appointed pursuant to the governing documents of the King Farm Citizens Assembly and his or her expertise or professional education in the administration and interpretation of the Design Guidelines shall be considered to be within the scope of the Design Guidelines. Additional materials to those listed in the Design Guidelines may be approved for use by the Community Architect if the site plan that said materials are of equal or enhanced quality. The following are prohibited in the King Farm: Glass lot facades, large window glazing, front-facing glazing on residential lots and window or courtyard entry.⁴ The following are not permitted in front yards or a side yards visible from a street: double doors, porches and electric meters, solar panels, antennas, garbage cans, swimming pools, doghouses and dog runs, jacuzzis and hot tubs. Above ground swimming pools are not permitted except for inflatable pools. All other kinds of pools must be screened from streets. All pool enclosures or enclosures visible from the street must be submitted for approval by Community Architect. Popovers or SINGLE FAMILY HOUSES' Attached or Detached, shall be attached to the main building or porch and limited to 5' in length. All materials and colors proposed for exterior construction must be submitted to a design board to the Community Architect for approval, in accordance with King Farm community documents, prior to construction. All advertising signage, including naming and exterior displays, must be in accordance with the detailed site plan and must be submitted to the Community Architect for approval. Continuance to these Design Guidelines does not assure approval. Each design must be submitted to the Community Architect for approval and are subject to applicable City of Rockville laws and regulations for permitting and construction. All public buildings shall be approved by the Community Architect.⁴
GARDEN WALLS AND FENCES	<ol style="list-style-type: none"> Garden walls shall be made of brick, concrete block finished in stucco or stone and shall be compatible with the main building. Fences shall be built of wood. Detached houses and attached houses or corner lots with attached garage require a fence or garden wall to complete the edge between the garage and the main building. Garden walls shall be a material approved by the town architect for the given circumstances.⁷ Garden fences constructed of wood must be approved by the Community Architect. Screening walls when visible from the street shall be made of brick or stone. Wood screening walls may be used when they are not visible from the street.⁴ 	<ol style="list-style-type: none"> Garden walls and fences, except "lattice" fences (see 8.5 below) for the side yard shall be a minimum of 30" and a maximum of 5'-6" high. Garden walls or fences shall be placed on the rear lot line and side lot lines to maximize street continuity, unless otherwise noted. Front and side yard wood "lattice" type fences are permitted for use in DETACHED SINGLE FAMILY RESIDENCES only. Lattice and other fences must be made of wood and painted white. Lattice fences shall not exceed 36" in height. 	<ol style="list-style-type: none"> Visual Screening Devices must be used on MULTI-FAMILY BUILDINGS to obstruct view from streets into ground floor porches. 	BLOCK NOTES <ol style="list-style-type: none"> All blocks are to have a uniform block alignment and are to be submitted by the Community Architect. Townhouse blocks shall have uniform building alignments.⁴ Blocks shall have a consistency of material of main building wall and roof material on block or grouping of buildings. Arbitrary changing of materials is discouraged. No more than 50% of GARAGE FRONT TOWNHOUSES are permitted to be one story.
PORCHES REAR YARD DECKS AND PATIOS	<ol style="list-style-type: none"> Rear yard decks may be made of pressure treated wood.⁵ Brick and cast concrete blocks visible from adjacent streets shall be painted to match the predominant color of the trim of the main building. Porches on SINGLE FAMILY RESIDENCES (Attached and Detached) shall be constructed of concrete or wood. Porches shall be constructed of pressure-treated lumber or non-treated aluminum. Concrete porches shall be finished in brick or wood within its square area or brick or stone on the main building. FRONT LOADED GARAGE TOWNHOUSES are required to have a covered stoop. Porches shall be painted and shall be a minimum of 8'-0" deep. Rear yards are permitted. Porches are permitted on the top story from rear of any SINGLE FAMILY HOUSE (Attached or Detached). 	<ol style="list-style-type: none"> Decks shall be screened to a height of 4'-6" when located on a corner lot. Outdoor patios, with exception of MULTI-FAMILY RESIDENCE patios are permitted in rear or side yards only and must be screened to a height of 5'-6" when visible from a street. Decks may be no higher than 10'-0" above grade. Decks are permitted in rear yards only. The underside of decks, when visible from the street, must be screened. Discretionary wood lattice is encouraged. In DETACHED SINGLE FAMILY HOUSE TYPES, the space of the deck in square feet shall not exceed 25% of the lot area. Porches are required on all SINGLE FAMILY DETACHED RESIDENTIAL lots facing any fronted open space. Deck material porches are required on all DETACHED SINGLE FAMILY corner lots.³ 	<ol style="list-style-type: none"> Unpainted pressure treated decking may be used for all porch decks and areas of wood decks.⁵ 	
ARCHITECTURAL ELEMENTS	<ol style="list-style-type: none"> Columns shall be made of wood or pre-cast concrete. Piers shall be made of brick, pre-cast concrete, wood or concrete block, finished in stucco. Railings shall be made of wood, stone or wrought iron. All exterior masonry visible from the sidewalk in the building shall be made of brick or stone. Spans resting on wood porches may be made of wood. 	<ol style="list-style-type: none"> Wrought iron or steel railings shall be painted black. All columns and piers constructed of wood shall be painted. All columns, railings and trim for porches shall be painted. Wood decks may be left unpainted.⁴ 	 <ol style="list-style-type: none"> Architectural elements such as columns, piers, cornices and doors shall be either the "Stone or Lattice" material as designated by the King Farm or "The American Veneer", unless otherwise specified. Piers must be a minimum of 12" wide. All entries shall be a minimum of 12" wide on the inside surface. Multiple columns may be combined to create the appearance of one whole column. 	
ROOFS and CHIMNEYS	<ol style="list-style-type: none"> Roofs shall be constructed of one of the following materials: asphalt shingle, metal shingle, cedar shingle, with an asphalt shingle, or pre-approved synthetic fiberglass shingles. Copper accents shall be permitted. Chimneys shall be constructed of brick, aluminum or copper. Chimneys shall be constructed of brick or stone for all SINGLE FAMILY HOUSES. Chimney flues shall be constructed of tile or metal. For all MULTI-FAMILY RESIDENTIAL and TOWNHOUSES, chimneys shall be constructed of the primary material of the main building. Two chimneys shall be constructed of tile or stone. Asbestos roofing materials shall be "Architectural Quality" and shall be approved by the Community Architect.⁴ 	<ol style="list-style-type: none"> Roof configurations shall be symmetrical and simple. Pitches shall range from 4:12 to 14:12 and shall be arranged in the gable or gabled center bays. All roofs shall overhang the adjacent facade a minimum of 1'-0" and a maximum of 2'-0" and may encroach into the required set back. Flat roofs shall be edged in a gutter when used as an exterior deck and accessed from the interior of the main building. Flat roofs are permitted over entry porches and porches but must be accompanied by an architectural cornice a minimum of 2'-0" in height. Sloped roofs are permitted when used as a secondary roof set against the wall of the main building. Pitches to be limited to 4:12 to 12:12. All TOWNHOUSE TYPES shall have roofs arranged in a gable configuration only with the ridge of the gable parallel to the street. TOWNHOUSE TYPES on an end or corner lot may have the back-sloped end of the gable facades either street. All gutters shall be set against into a minimum of 6" wider than the gutter itself. 	<ol style="list-style-type: none"> Steel roofing used shall be copper, painted or with a factory applied finish.⁵ Chimneys shall be painted to match the color of the main building or the color of the trim. Chimneys must extend a minimum of 2'-0" past the height of the adjacent roof. 	<ol style="list-style-type: none"> Roofs of residential buildings shall be gabled, and in the following configurations: Shingle, double-gable, common or flat. Terra cotta roofing on the surface of any residential facade shall not exceed 35% of the entire street facade. All building gables shall be accompanied by trim a minimum of 4" wide on all walls constructed of siding.⁴ A minimum of 2" eave overhangs, varying 9'-0" wide, are required on each exterior facade.³
WINDOWS, DOORS, AND AWNINGS	<ol style="list-style-type: none"> Doors shall be constructed of wood, metal clad or wood veneer fiberglass. Windows shall be constructed of wood, vinyl or stone. Windows in residential buildings shall be installed to meet or exceed window standards for the use of wood or vinyl.³ Storm windows and doors shall match the material and color of the window or door they attach to. Residential garage doors shall be made of wood, aluminum, fiberglass or metal veneer. (Steel doors shall be permitted in metal clad commercial office buildings only). Appearance is preferred. Garage doors of the "modern" type are encouraged.⁴ Windows in brick walls shall be accompanied by brick masonry.³ 	<ol style="list-style-type: none"> Windows square or rectangular in configuration and vertical in orientation shall have a proportion of 1:1.25. Awned windows may be placed on roof level. Quarter round windows may be used in the King Farm exterior construction items. Windows shall be square or vertical in proportion and shall be in one of the following configurations: 6 over 6, 6 over 6, 6 over 4, 6 over 4, 3 over 1, 2 over 1, 2 over 2, 4 over 1, or 9 over 1. Panoramic, two or three-part, are permitted when they are on both the interior and exterior of the glass. Other mullions may be permitted when reviewed by the Town Architect on a case by case basis. Entrances shall be operable or appear to be operable with hardware and shall be sufficient size to cover the entire window frame unless otherwise noted. Shutters shall be applied to all or some of the windows on a given level of the main building. Bay windows or a front porch shall extend to the ground or be supported by architectural brackets. Full-height protrusions are encouraged. Shutters shall be located on the backside of the roof. Shutters on a front facade shall continue to side yard windows on corner lots.⁴ 	<ol style="list-style-type: none"> Windows of residential buildings shall be operable, and in the following configurations: Shingle, double-gable, common or flat. Terra cotta roofing on the surface of any residential facade shall not exceed 35% of the entire street facade. All building gables shall be accompanied by trim a minimum of 4" wide on all walls constructed of siding.⁴ A minimum of 2" eave overhangs, varying 9'-0" wide, are required on each exterior facade.³ 	
DRIVEWAYS, OUTBUILDINGS AND GARAGES	<ol style="list-style-type: none"> Garages accessed from the front or side yard shall be constructed of the same material as the main building. Driveways accessed from the front yard shall be made of brick, brick pavers or black finish concrete. Lead walls of all TOWNHOUSE TYPES shall be made of brick or fiberglass and shall match the material of the front steps or stoop of the main building. Lead walls of DETACHED SINGLE FAMILY RESIDENTIAL TYPES shall be made of concrete or brick when the stoop area needs wood, stone or brick when the stoop area needs of brick. All lead walls shall return to the curb.³ Lead walls of MULTI-FAMILY RESIDENTIAL TYPES shall be constructed of brick, brick pavers, stone or concrete to match the adjacent sidewalk. Stucco and masonry for all mechanical equipment shall be screened from view. All SINGLE FAMILY DETACHED HOUSES require garages. Lead walls shall be constructed of one material.⁴ 	<ol style="list-style-type: none"> FRONT LOADED GARAGE TOWNHOUSES may have side exit garages. Garage doors shall be a minimum of six inches from the exterior face of the garage wall.³ Residential driveways shall be 10'-0" in width where the drive meets a street. Where the garage facade is side street or a corner lot, the drive may not exceed 10'-0" in width at the street. Lead walls shall be in line with the ground and shall slope a maximum of 3:8.⁴ All parking areas and parking hours shall be screened from view with a garden wall or a hedge a minimum of 360" high, or with an architectural fence of brick or wrought iron and brick walls. Garage doors for COURTYARD TOWNHOUSE TYPES shall be recessed from the exterior face of the garage wall measures to create a usable outdoor parking space. Garage doors entered from the front porch shall be a minimum of 9'-0" wide. The second 9' garage doors shall be supported by a post a minimum of 1'-0" wide. All mechanical equipment shall be within an enclosed structure and screened from view. These enclosures shall be compatible with the language of the main building. All roof flues and vents shall be painted to match adjacent roof elements. All units with steps are required to use the steps for garage access. All necessary structures must be located in the rear yard, as defined by the zoning Ordinance. 		
MECHANICAL EQUIPMENT AND REFUSE CONTAINERS	<ol style="list-style-type: none"> All enclosures for mechanical equipment and refuse, visible from the street, shall be screened with materials compatible with those of the main building. Landscaping may be used for screening purposes. All mechanical equipment located on the roof of any building shall be screened from view. The design and location of higher capacity refuse containers must be approved by the Community Architect. Other vents shall be located in the garage or the side or rear yard for TOWNHOUSES and SINGLE FAMILY HOUSES. All transformers must be underground. 			



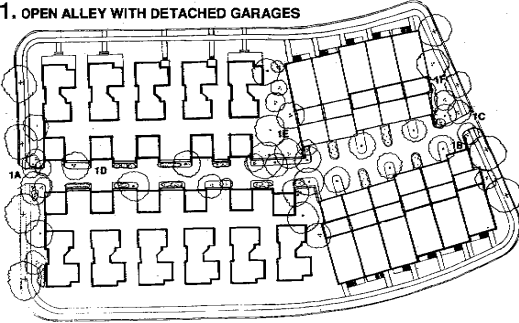
STATEMENT OF INTENT

THE KING FARM DESIGN GUIDELINES ARE PROVIDED AS A VISUAL GUIDE TO ASSIST HOMEOWNERS, ARCHITECTS AND BUILDERS TO FULLY UNDERSTAND THE KING FARM APPROVED MASTER PLAN AND THE CHARACTER OF THE PHYSICAL ENVIRONMENT ASSOCIATED WITH IT. TO ACHIEVE THE ARCHITECTURAL AND URBAN DESIGN GOALS OF THE APPROVED PLAN, IT IS REQUIRED THAT EACH HOMEOWNER, ARCHITECT AND BUILDER SHOULD FAMILIAR WITH THE DESIGN GUIDELINES FOR KING FARM.

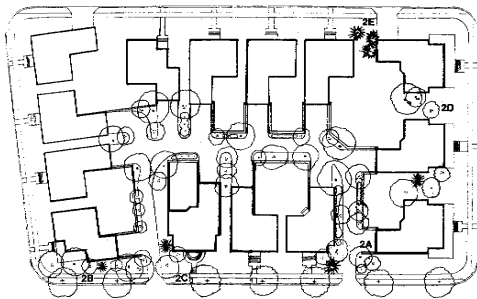
7/3/01
10/16/06
12/2/06

KEY PLANS - ALLEY TYPES

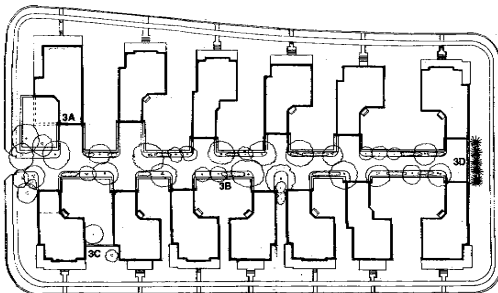
1. OPEN ALLEY WITH DETACHED GARAGES



2. SEMI-CIRCLE ALLEY WITH ATTACHED & DETACHED GARAGES

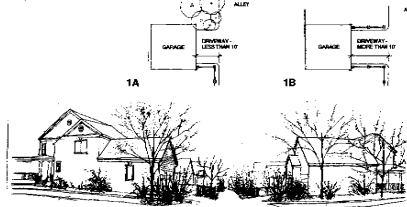


3. DEAD-END ALLEYS WITH ATTACHED GARAGES



TECHNIQUES

- 1A When garage driveways are less than 10' long, screen driveways with groups of multi-stem shrubs group.
- 1B When driveways are more than 10' long, extend fences to the utility easement. Preserve sight distance for drivers.



- 1C Screen alley entrances with groups of multi-stemmed trees and shrubs. Use trees designated in typical lot planting schemes. See typical unit planting plans and plant lists within Detailed Application Landscape Plans.
- 1D Plant alternating masses of shrubs in landscape strips between alley fences and alley pavement. See typical unit planting plans and plant lists within Detailed Application Landscape Plans.
- 1E Large open spaces between homes shall be planted as groves of trees. Include canopy and understory trees. See typical unit planting plans and plant lists within Detailed Application Landscape Plans.
- 1F Side yards created when townhouses are not parallel to the street shall be planted with additional trees and shrubs. Connect houses and detached garages with fences.



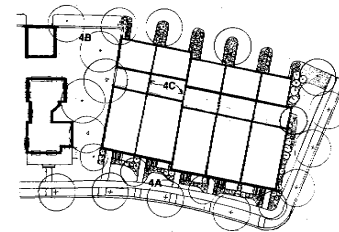
- 2A Enclose driveways, which adjoin alley entrances, behind extended fences. Where the side elevation of one home faces the rear of another home, the alley fence extending from the house backing up to the alley shall be terminated in a masonry pier. See above.
- 2B Entrance plantings shall turn the corner where homes front two streets. Additional ornamental or evergreen trees shall be used to minimize blank areas on building facades. See typical unit planting plans and plant lists within Detailed Application Landscape Plans.
- 2C Plant groups of trees and shrubs to screen alley entrances from front yards which face them. Include canopy and understory trees. See typical unit planting plans and plant lists within Detailed Application Landscape Plans.
- 2D Additional plantings to screen the rear alleys and yards from view shall be provided between houses which are more than 15 feet apart. Include canopy and understory trees. See typical unit planting plans and plant lists within Detailed Application Landscape Plans.
- 2E Plant evergreen trees to screen street facing garages from adjacent houses. See typical unit planting plans and plant lists within Detailed Application Landscape Plans.



- 3A When garages are located diagonally across alleys, provide a fence for the yard facing the street. Screen the rear yard with additional plantings.
- 3B Fence types shall vary between houses. See Design Guidelines for Alley Fences. All fence locations shall be approved by the Community Architect.
- 3C Alley fences may be extended to screen the view of alleys from the street.
- 3D Terminate dead end alleys with screens of tall evergreens. Extend the alley fence between garages.

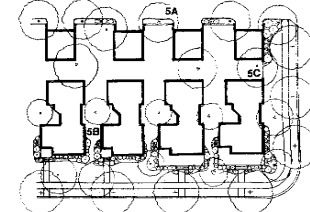
TYPICAL UNIT - LANDSCAPE DEVELOPMENT

4. TOWNHOUSES WITH DETACHED GARAGES



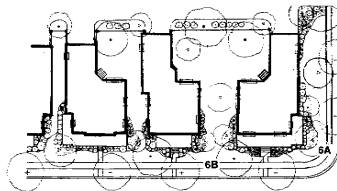
- 4A Vary the plant material in the front yards. Alternate larger masses of shrubs with understory trees on adjacent lots.
- 4B Groves of trees shall be planted between houses which are greater than 15 feet apart. Plant trees on both sides of alley fences. See typical unit planting plans and plant lists within Detailed Application Landscape Plans.
- 4C Provide privacy fence between houses. See Design Guidelines for Alley Fences.
- 4D Screen HVAC units from view with fences, hedges or shrubs (all house types).

5. SINGLE-FAMILY HOUSES WITH DETACHED GARAGES



- 5A Plant at least one of the required lot trees in the alley (ALL BLDG. TYPES).
- 5B Provide additional planting between houses, which are 15 or more feet apart. In order to screen alley and yard from street, include a combination of multi-stem canopy & understory trees to screen first & second story windows of the neighboring houses. (ALL DETACHED HOUSES).
- 5C At the end of a block, provide a fence between each house and garage, and between garage and alley. See techniques 1A and 1B. Final fence locations shall be approved by the Community Architect.

6. SINGLE-FAMILY WITH ATTACHED GARAGES (SEPARATE AND JOINT YARDS)



- 6A Provide additional corner unit planting at street intersections. See Typical Unit Planting Plans.
- 6B Vary the mix & layout of front planting on the adjacent lots. Coordinate with Typical Unit Planting Plans.

LAYOUT FENCES AND PLANTING



KING FARM ASSOCIATES, L.L.C.

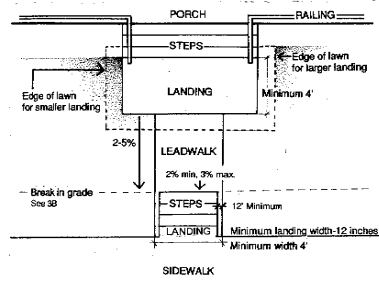
KING FARM
DESIGN GUIDELINES

TORTI GALLAS AND PARTNERS - CHK

LEWIS SCULLY GIONET

4.1

1. CONSISTENCY OF PROPORTIONS - FRONT ENTRANCES

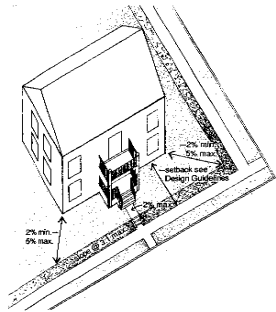


- 1A Edge of landing shall align with edge of steps, or extend beyond it by a minimum of 9 inches.
- 1B Edge of lawn shall align with edge of landing adjacent to the front steps.
- 1C Landing of the leadwalk steps shall be equal to one stair tread, and never less than 12 inches.
- 1D The width of leadwalk shall be no less than 50 % of width of steps and landing, but never less than 4 feet.

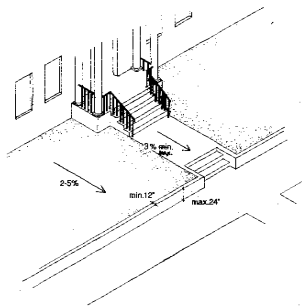
2. CONSISTENCY OF MATERIALS - FRONT ENTRANCES

- 2A Steps, landings lead walks, shall be constructed of the same masonry material. This should match masonry elements of the house.
- 2B Porch steps may match adjacent porch construction.
- 2C Railings on site steps (if required) shall match front porch railings.

4. TYPICAL FRONT YARD GRADING

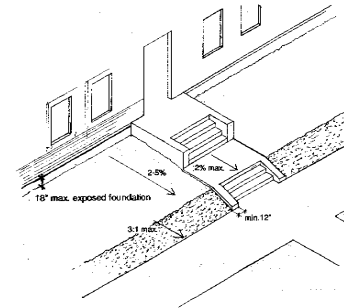


3. PLACEMENT OF STEPS & LANDINGS IN FRONT YARDS



3A RETAINING WALL AT FRONT OF LEAD WALK

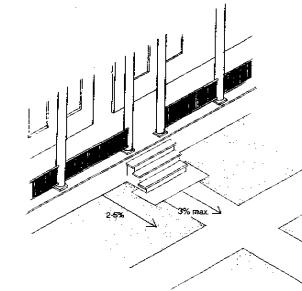
- Slope of front yard shall be between 2% and 5%.
- Slope of the landing and leadwalk shall not exceed 5%.
- Change of grade of the front yards can be accommodated with a maximum of two sets of steps: one attached to the house and the other at the edge of the sidewalk.
- Both sets of steps shall have consistent tread width.
- Cheekwall of the steps at the sidewalk shall align with the edges of landing.
- Retaining walls may be necessary to grade individual lots to required grades and slopes. Such walls shall match the masonry elements of the house.



3B CHEEKWALL & WALKWAY TO SIDEWALK

- Slope of front yard shall be between 2% and 5%.
- Slope of the front yard at edge of sidewalk shall not be greater than 3:1.
- Change of grade of the front yards can be accommodated with a maximum of two sets of steps: one attached to the house and the other at the edge of the sidewalk.
- Both sets of steps shall have consistent tread width.
- Second set of steps is required to have at least two steps and a cheekwall.
- Slopes greater than 4:1 shall be planted with acceptable cover material.

Alternative Name	Common Name	Size	Type	Remarks	Spacing
Columbian, Diamond, Royal Beauty	Isachryon, Columbian	18-24\"/>			

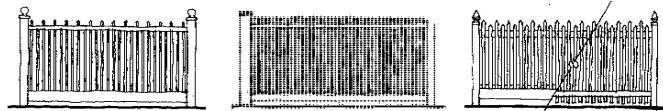


3C SLOPED GRADE AT FRONT OF LEAD WALK

- Slope of front yard shall be between 2% and 5%.
- Slope of the landing and leadwalk shall not exceed 3%.

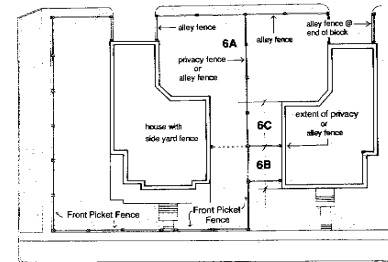
FRONT YARDS AND ENTRANCES

5. FRONT YARD PICKET FENCE



- 5A Houses facing public spaces, such as parks, may be required by the Community Architect to be provided with front picket fences.
- 5B Front fences shall be coordinated with the balance or architectural detailing on individual homes.
- 5C Front picket fences shall have a consistent height of between 32" and 42".
- 5D Front fences shall be transparent, with slats having a maximum width of 3 1/4", and 4" x 4" corner posts.
- 5E Design alternatives to those presented in these guidelines may be reviewed and approved by the Community Architect.

6. PLACEMENT OF FENCES IN SIDE YARDS

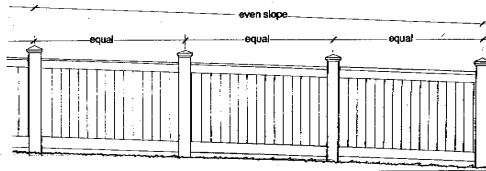


- 6A Fences may be put up between neighbors along the property line.
- 6B The street-facing segment of the fence shall be constructed as a front fence if it is less than half the distance away from the front elevation.
- 6C The street-facing segment of the backyard fence may be constructed as a privacy fence if it is half the distance or more away from the front elevation.

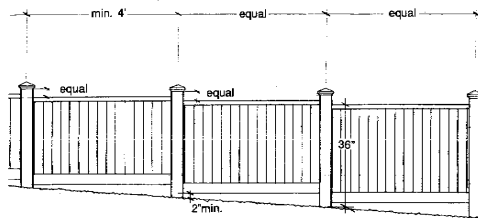
* See sheet 4.4 for additional grading rules for townhomes.



1. ALLEY FENCES @ SLOPED CONDITIONS



1A Fence may slope evenly up to 4% (1/2" per foot).



1B Slopes greater than 4% shall be accommodated by stepping the fence.

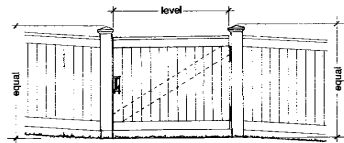
1C Stopped and sloped fencing may not be installed in the same length of fence along the property line, or on opposite sides of the alley.

1D Fence shall be stepped in increments of 6" maximum.

1E Fence segments shall be of equal length. When the gap between bottom of kickboard and finished grade exceeds 8", adjust post spacing for shorter but equal spacing.

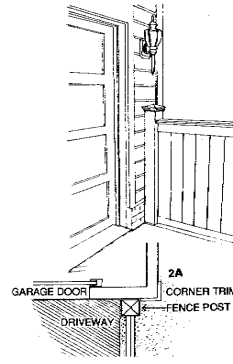
1F Top of fence shall remain level in stepped conditions.

1G Kickboard shall be at least 2" off the ground. Kickboard shall step on a stepped fence.



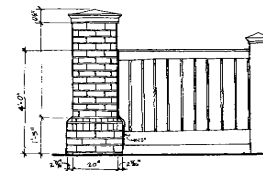
1H Girtes shall be level. Adjacent fence posts shall be at the same elevation.

2. ALLEY FENCE @ DRIVEWAY



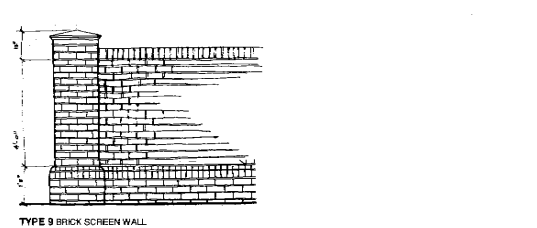
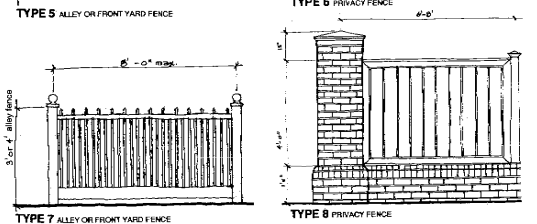
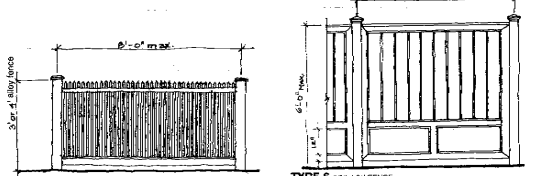
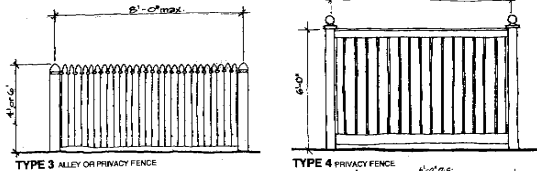
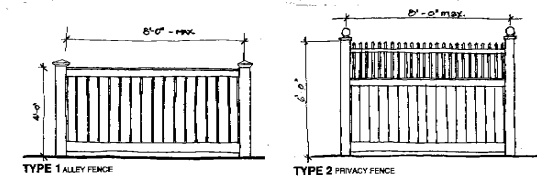
2A When the garage wall is more than 2' wide - fence post shall be aligned with the inside of the corner trim.
 2B When the garage wall is less than 2' wide - fence post and light fixture shall be centered on the wall.

3. TYPICAL BRICK PIER



Typical brick pier terminating alley fence at the edge of driveway (as called for in design guidelines).

4. RECOMMENDED ALLEY & PRIVACY FENCES



- 4A All alley fences shall be 4 feet tall.
- 4B All privacy fences shall be between 4 and 6 feet tall.
- 4C Alley fences shall vary from yard to yard.
- 4D Alley fences shall vary at property lines, or as determined by the Community Architect.
- 4E Fence types other than those shown above may be used, following review and approval by the Community Architect.

ALLEY FENCES



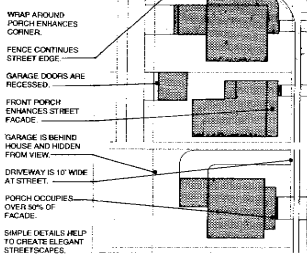
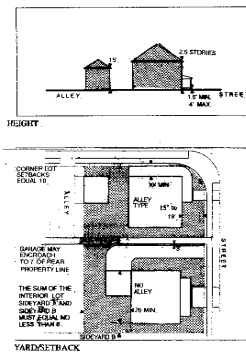
KING FARM ASSOCIATES, L.L.C.

KING FARM
 DESIGN GUIDELINES

TORTI GALLAS AND PARTNERS - CHK

LEWIS SCULLY GIONET

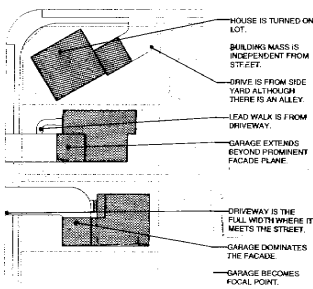
APPROPRIATE SITING



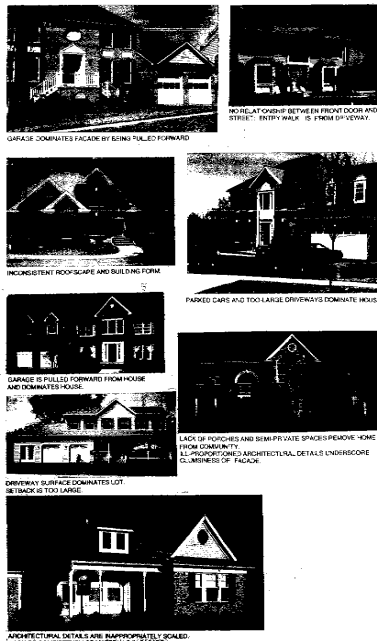
APPROPRIATE CHARACTER



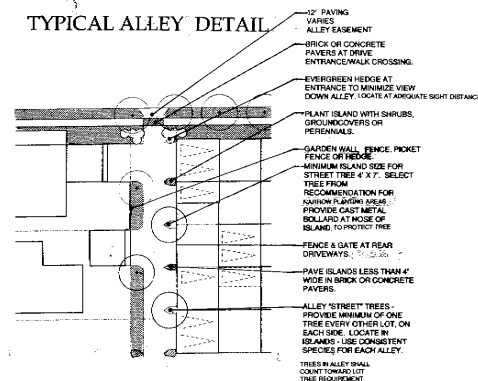
INAPPROPRIATE SITING



INAPPROPRIATE CHARACTER

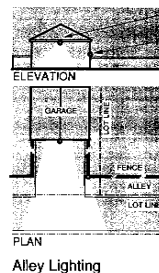


TYPICAL ALLEY DETAIL



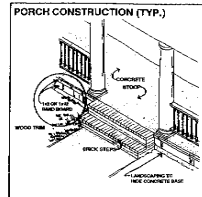
SINGLE FAMILY HOUSE

VARIANCES TO THIS CODE MAY BE OBTAINED BY THE COMMUNITY ARCHITECT BASED ON ARCHITECTURAL MERIT OR SITE CONDITIONS.



REQUIRED ALLEY LIGHTING:

1. ALL HOUSING UNITS WITH GARAGES FACING ALLEYS SHALL HAVE GARAGE AND/OR FENCE MOUNTED LIGHTS.
2. LIGHTS SHALL PROVIDE SUFFICIENT ILLUMINATION SUCH THAT PERSONS OR OBJECTS WITHIN THE DRIVEWAY AND AREA OF THE ALLEY DIRECTLY OPPOSITE THE DRIVEWAY ARE VISIBLE TO DRIVERS OR OTHERS IN THE ALLEY.
3. LIGHTS SHALL NOT SPILL ONTO ADJACENT PROPERTIES AND SHALL NOT CAUSE GLARE ONTO, OR OTHERWISE DISTURB ADJUTING HOMES.
4. LIGHTS IN ALLEY SHALL BE OPERATED BY A PHOTOCELL SO THAT THEY AUTOMATICALLY TURN ON AT DUSK.
5. ALL LIGHTS ARE SUBJECT TO THE APPROVAL OF THE TOWN ARCHITECT.



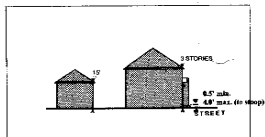
APPROVED BY
CITY OF ROCKVILLE
PLANNING COMMISSION
AS PER LETTER OF:
[Signature]
10/11/96
12.02.96

STATEMENT OF INTENT

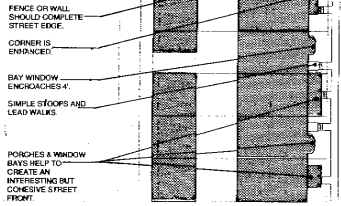
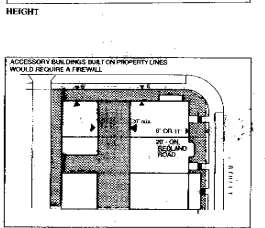
THE ABOVE CLASSIFICATION OF "APPROPRIATE" AND "INAPPROPRIATE" REFERS STRICTLY TO THE DESIRED CHARACTER FOR KING FARM AND IS IN NO WAY AN EVALUATION OF ARCHITECTURAL MERIT. THEREFORE, THE IMAGES SHOWN SHOULD BE VIEWED AS EXAMPLES OF A GENERAL TYPOLOGY RATHER THAN A SPECIFIC COMPONENT.

THE KING FARM DESIGN GUIDELINES ARE PROVIDED AS A VISUAL GUIDE TO ASSIST HOME OWNERS, ARCHITECTS AND BUILDERS TO FULLY UNDERSTAND THE KING FARM APPROVED ONE-FIT PLAN AND THE CHARACTER OF THE PHYSICAL ENVIRONMENT ASSOCIATED WITH IT. TO ACHIEVE THE ARCHITECTURAL AND URBAN DESIGN GOALS OF THE APPROVED PLAN, IT IS REQUIRED THAT EACH HOME OWNER, ARCHITECT AND BUILDER BECOME FAMILIAR WITH THE DESIGN GUIDELINES FOR KING FARM.

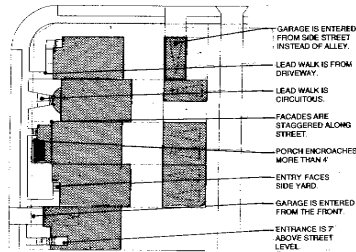




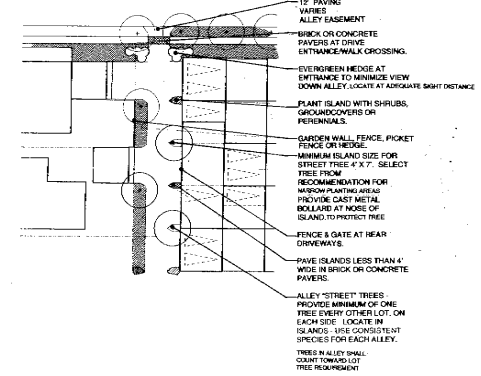
APPROPRIATE SITING



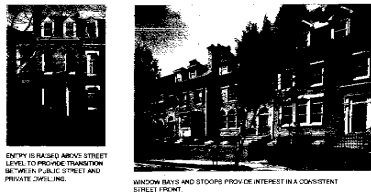
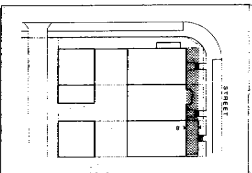
INAPPROPRIATE SITING



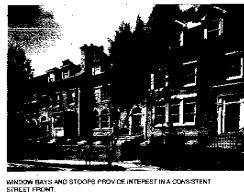
TYPICAL ALLEY DETAIL



APPROPRIATE CHARACTER

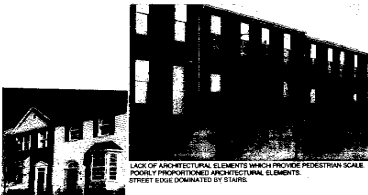


ENTRY IS BASED ABOVE STREET LEVEL TO PROVIDE TRANSITION BETWEEN PUBLIC STREET AND PRIVATE DWELLING.



WINDOW BAYS AND STOODS PROVIDE INTEREST IN A CONSISTENT STREET FRONT.

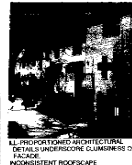
INAPPROPRIATE CHARACTER



NO PUBLIC SIDEWALK PROVIDED. ARCHITECTURAL DETAILS ARE INAPPROPRIATELY SCALED. LACK OF CONSISTENCY OF MATERIALS IN FACADE.



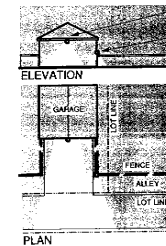
FACADES DO NOT MAINTAIN A CONSISTENT STREET EDGE. PARKING IS INADEQUATE. FRONT DOORS ARE NOT RELATED TO STREET.



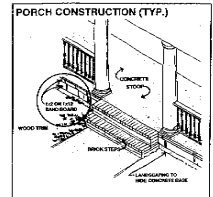
ALL PROPORTIONED ARCHITECTURAL DETAILS AND PROPORTIONED ROOFSCAPE.

DETACHED GARAGE TOWNHOUSE

VARIANCES TO THIS CODE MAY BE GRANTED BY THE COMMUNITY ARCHITECTURE BOARD ON ARCHITECTURAL MERIT OR SITE CONDITIONS.



Alley Lighting SCALE: 1/8" = 1' - 0"



REQUIRED ALLEY LIGHTING:

1. ALL HOUSING UNITS WITH GARAGES FACING ALLEYS SHALL HAVE GARAGE AND/OR FENCE MOUNTED LIGHTS.
2. LIGHTS SHALL PROVIDE SUFFICIENT ILLUMINATION SUCH THAT PEDESTRIAN OR OBJECTS WITHIN THE DRIVEWAY AND AREA OF THE ALLEY DIRECTLY OPPOSITE THE DRIVEWAY ARE VISIBLE TO DRIVERS OR OTHERS IN THE ALLEY.
3. LIGHTS SHALL NOT SPILL ONTO ADJACENT PROPERTIES AND SHALL NOT CAUSE GLARE ONTO, OR OTHERWISE DISTURB ADJACENT HOMES.
4. LIGHTS IN ALLEY SHALL BE OPERATED BY A PHOTOCELL SO THAT THEY AUTOMATICALLY TURN ON AT DUSK.
5. ALL LIGHTS ARE SUBJECT TO THE APPROVAL OF THE TOWN ARCHITECT.

APPROVED BY CITY OF ROCKVILLE PLANNING COMMISSION AS PER LETTER OF [Signature] 7/12/96 10/1/96 [Signature]

Rev. 12-1-97 Rev. 8-14-97 7/12/96 10/1/96 12.02.96

STATEMENT OF INTENT

THE KING FARM DESIGN GUIDELINES ARE PROVIDED AS A VISUAL GUIDE TO ASSIST HOME OWNERS, ARCHITECTS AND BUILDERS TO FULLY UNDERSTAND AND THE KING FARM APPROVED CONCEPT PLAN AND THE CHARACTER OF THE PHYSICAL ENVIRONMENT ASSOCIATED WITH IT. TO ACHIEVE THIS ARCHITECTURAL AND URBAN DESIGN GOALS OF THE APPROVED PLAN, IT IS REQUIRED THAT EACH HOME OWNER, ARCHITECT AND BUILDER BECOME FAMILIAR WITH THE DESIGN GUIDELINES FOR KING FARM.

THE ABOVE CLASSIFICATION OF "APPROPRIATE" AND "INAPPROPRIATE" REFERS STRICTLY TO THE DESIRED CHARACTER FOR KING FARM AND IS IN NO WAY AN EVALUATION OF ARCHITECTURAL MERIT. FURTHERMORE, THE IMAGES SHOWN SHOULD BE VIEWED AS EXAMPLES OF A GENERAL TYPOLOGICAL RATHER OF A SPECIFIC COMPONENT.



DIRECT RELATIONSHIP BETWEEN STREET AND FRONT DOOR.



SLIGHT DIFFERENCES IN ARCHITECTURAL DETAILS PROVIDE INTEREST WHILE MAINTAINING STREET EDGE.



NO RELATIONSHIP BETWEEN FRONT DOOR AND STREET HOOD/SIDE OF MATERIALS. FACADES ARE STAGGERED AND INCONGRUOUS. PARKING LOT IN FRONT OF BUILDING OPEN TO THE STREET.



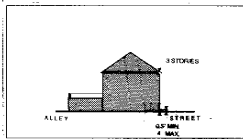
KING FARM ASSOCIATES, L.L.C.

KING FARM DESIGN GUIDELINES

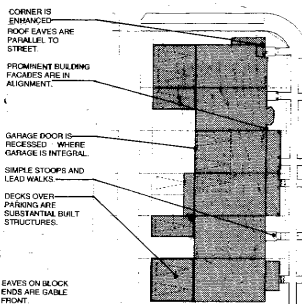
CHK ARCHITECTS & PLANNERS

LEWIS SCULLY GIONET

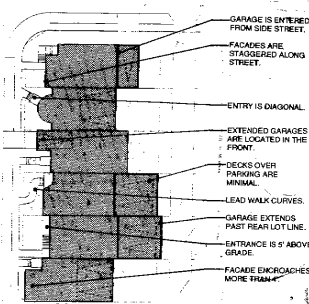
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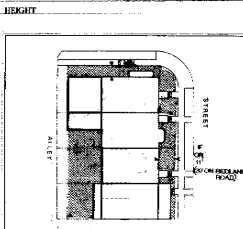
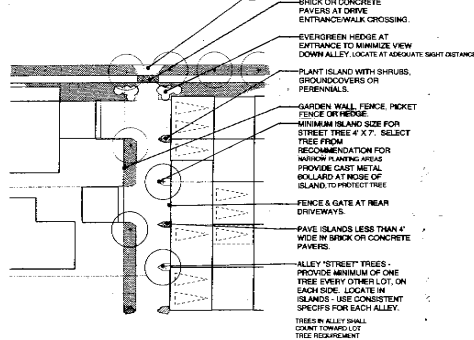
APPROPRIATE SITING



INAPPROPRIATE SITING



TYPICAL ALLEY DETAIL



APPROPRIATE CHARACTER



INTEGRAL REAR GARAGE ALLOWS FOR A SUBSTANTIAL DECK ABOVE.

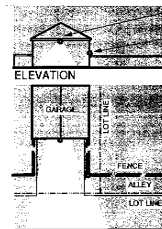
INAPPROPRIATE CHARACTER



NO PORCHES PROVIDED ABOVE INTEGRAL ALLEY & NOT DEVELOPED AS AN AMENITY.

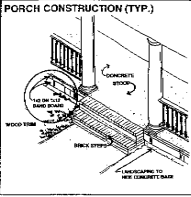
REAR-LOADED GARAGE TOWNHOUSE

VALUANCER TO THIS CODE MAY BE GRANTED BY THE COMMUNITY ARCHITECT BASED ON ARCHITECTURAL MERIT OR SITE CONDITIONS.

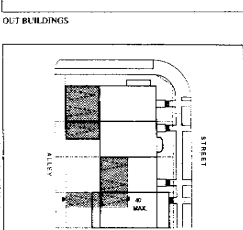
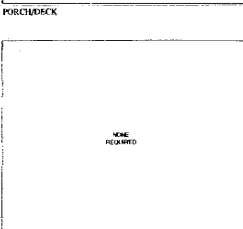
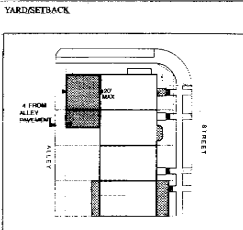


Alley Lighting SCALE: 1/16" = 1'-0"

- REQUIRED ALLEY LIGHTING:**
1. ALL HOUSING UNITS WITH GARAGES FACING ALLEYS SHALL HAVE GARAGE AND/OR FENCE MOUNTED LIGHTS.
 2. LIGHTS SHALL PROVIDE SUFFICIENT ILLUMINATION SUCH THAT PERSONS OR OBJECTS WITHIN THE DRIVEWAY AND AREA OF THE ALLEY IN DIRECTLY OPPOSITE THE DRIVEWAY ARE VISIBLE TO DRIVERS OR OTHERS IN THE ALLEY.
 3. LIGHTS SHALL NOT SPILL ONTO ADJACENT PROPERTIES AND SHALL NOT CAUSE GLARE ONTO OR OTHERWISE DISTURB ADJUTING HOMES.
 4. LIGHTS IN ALLEY SHALL BE OPERATED BY A PHOTOCELL SO THAT THEY AUTOMATICALLY TURN ON AT DUSK.
 5. ALL LIGHTS ARE SUBJECT TO THE APPROVAL OF THE TOWN ARCHITECT.



PORCH CONSTRUCTION (TYP.)



A CONSISTENT STREET FACADE WITH SIMILAR STOREYS AND WALKS IMPROVE RELATIONSHIP BETWEEN STREET AND FRONT DOOR.



ROOF EAVES ARE PARALLEL TO STREET. WALL PROPORTIONS, FACADES AND ELEGANT ENTRIES CORRESPOND TO MATERIALS.



INSUBSTANTIAL, POORLY CONSTRUCTED DECK OVER INTEGRAL REAR GARAGE.



LANDSCAPE AND SERVICE FROM THE FRONT. QUALITY OF SIDEWALK AND WALKING ENTRIES UNAPPEALING. GARAGES LOCATED IN FRONT, MAKING A FRONT STREET.



GARAGES LOCATED IN FRONT. NO PUBLIC SIDEWALK PROVIDED. FRONT DOORS LOCATED TOO FAR ABOVE STREET.



FRONT DOOR TOO FAR ABOVE STREET. SHUTTERS ARE NOT SIZED TO COVER WINDOWS. PARKING UNITS.

THE ABOVE CLASSIFICATION OF "APPROPRIATE" AND "INAPPROPRIATE" REFERS STRICTLY TO THE DESIRED CHARACTER FOR KING FARM AND IS IN NO WAY AN EVALUATION OF ARCHITECTURAL MERIT. THEREFORE THE IMAGES SHOWN SHOULD BE VIEWED AS EXAMPLES OF A GOOD OR POOR TYPOLOGY RATHER OF A SPECIFIC COMPONENT.

APPROVED BY CITY OF ROCKVILLE PLANNING COMMISSION AS PER LETTER OF [Signature] 7/12/06

Rev. 12-14-97 Rev. 8-14-97 7/12/06 10/11/06 12-02-06

STATEMENT OF INTENT THE KING FARM DESIGN GUIDELINES ARE PROVIDED AS A VISUAL GUIDE TO ASSIST HOME OWNERS, ARCHITECTS AND BUILDERS TO FULLY UNDERSTAND THE KING FARM APPROVED CONCEPT PLAN AND THE CHARACTER OF THE PHYSICAL ENVIRONMENT ASSOCIATED WITH IT. TO ACHIEVE THIS ARCHITECTURAL AND URBAN DESIGN GOALS OF THE APPROVED PLAN, IT IS REQUIRED THAT EACH HOME OWNER, ARCHITECT AND BUILDER BECOME FAMILIAR WITH THE DESIGN GUIDELINES FOR KING FARM.



KING FARM ASSOCIATES, L.L.C.

KING FARM DESIGN GUIDELINES

CHK ARCHITECTS & PLANNERS

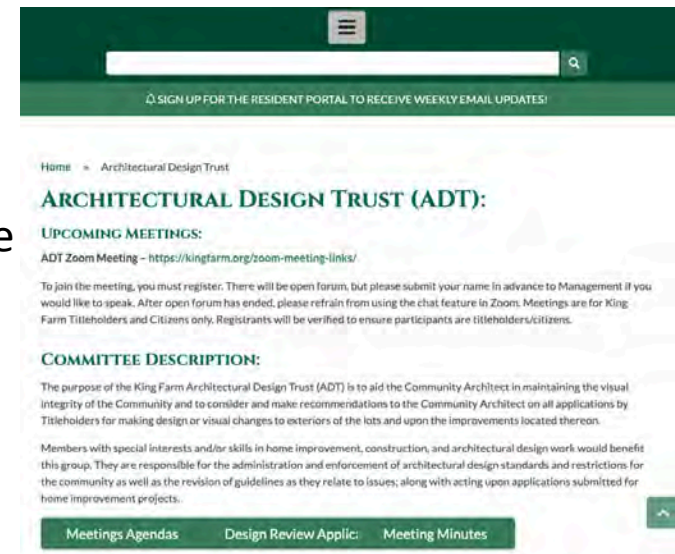
LEWIS SCULLY GIONET

KINGFARM

- Modification Guidelines

Basic Background to the Trust

- 4 Citizens and King Farm Community Architect
- Meet one time each month at Community Room in Village Center / Virtually in Covid
- Vision: Maintain and Enhance Community Standards
- What we do
 - Review applications
 - Be Proactive: education and suggest guideline changes to Board
 - Keep it Simple:
 - Keep it Realistic
- Find Updates at Website



Design Review Application

- Application Process:
 1. Fill out Application Completely
 2. Turn in to Community Manager
 3. Community Manager Reviews
 4. Community Architect Reviews
 5. ADT Reviews
 6. Notification by the Community Manager
 - Less than a month if application is complete

CONSUMER INFORMATION NOTES:

1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.

Notes

1. Flood zone "C" per H.U.D. panel No. 240060-0005B.
2. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 1.0 Foot.
3. Fences, if shown, have been located by approximate measurements.

By:

Date:

Approved

Disapproved

Note: The review and approval of the Community Architect shall be for the sole purpose of verifying compliance with the Design Guidelines, approved design documents, and the Builder Compliance Agreement. In no event shall such review and approval be construed as participation by the Community Architect in the work, as approval by the Community Architect of the quality of the work, or a warranty that the work on the site complies with codes, the applicable site plan, or any other plans and specifications.

LOCATION DRAWING
LOT 15, BLOCK RR
PLAT TWENTY-SEVEN
KING FARM:
WATKINS POND
 CITY OF ROCKVILLE
 MONTGOMERY COUNTY, MARYLAND



(52' WIDE PRIVATE STREET)

SURVEYOR'S CERTIFICATE
 THE INFORMATION SHOWN HEREIN HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION.

Jeffrey A. Foster
 MARYLAND PROPERTY LINE SURVEYOR REG. NO. 587

REFERENCES

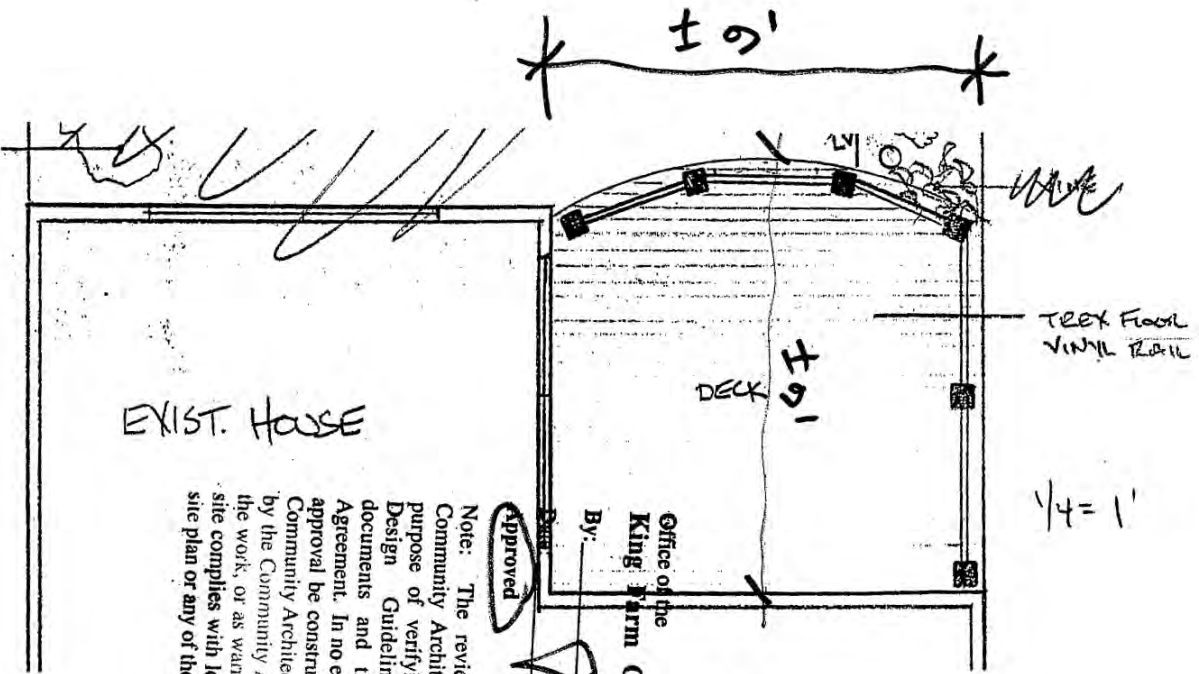
PLAT BK. 187
 PLAT NO. 20800

LIBER
 FOLIO



SHIRES & ASSOCIATES
 SURVEYORS - ENGINEERS
 LAND PLANNING CONSULTANTS
 2 Professional Drive, Suite 210
 Gaithersburg, Maryland 20878
 301/948-5100, Fax 301/948-1286

DATE OF LOCATIONS	SCALE: 1"=20'
WALL CHECK:	DRAWN BY: F.A.
HSE. LOC.: 05-26-2002	JOB NO.: 2002-3046



EXIST. HOUSE

DECK ± 9'

TREX Floor
VINYL RAIL

1/4" = 1'

15 RP

Office of the
King Farm Community Architect

By:

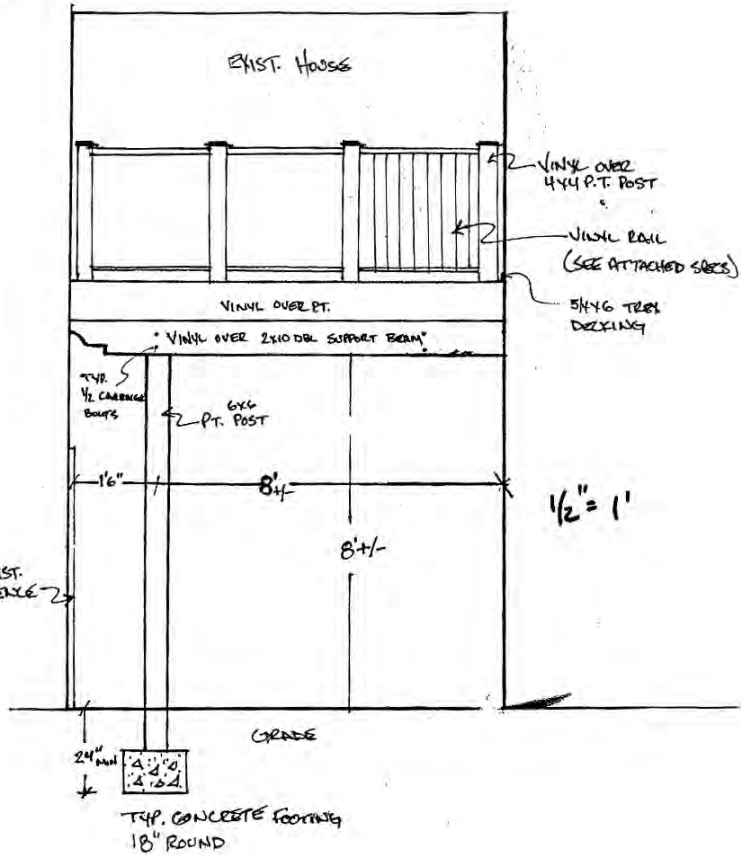
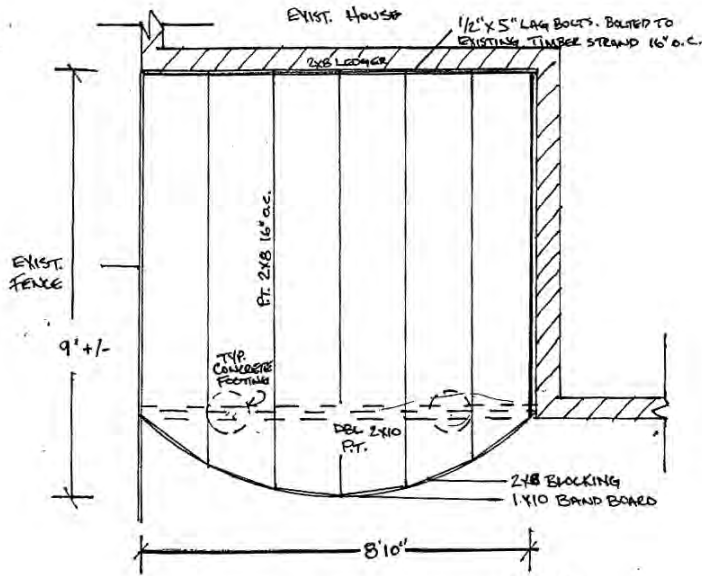
[Handwritten Signature]

6-17-04

Approved

Disapproved

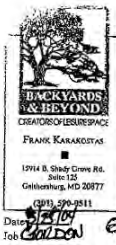
Note: The review and approval of the Community Architect shall be for the sole purpose of verifying compliance with the Design Guidelines, approved design documents and the Builder Compliance Agreement. In no event shall such review and approval be construed as participation by the Community Architect in the work, as approval by the Community Architect of the quality of the work, or as warranty that the work on the site complies with local codes, the applicable site plan or any of the plans and specifications.



15 PR
 1/2" = 1'

Office of the
 King Farm Community Architect
 By: *[Signature]*
 Date: 6-17-04
 Approved Disapproved

Note: The review and approval of the Community Architect shall be for the sole purpose of verifying compliance with the Design Guidelines, approved design documents and the Builder Compliance Agreement. In no event shall such review and approval be construed as participation by the Community Architect in the work, as approval by the Community Architect of the quality of the work, or as warranty that the work on the site complies with local codes, the applicable site plan or any of the plans and specifications.



REVISED
 6/11/04
[Signature]

HOW TO PURCHASE PermaForm® Railing

CODE COMPLIANCE

8' sections are in excess of PermaForm® Railing conforms (meets or exceeds) to all specifications as stated in the International Code and The Family Decking Code as recognized by the ICC, IBC, AIA, and SBCCI.

THREE WAYS TO ORDER.....

1. PRE-BUILT SECTIONS

- Shipped factory assembled
- Easy to install
- Everything needed to install is included
 - How to order
 - Choose length - 4', 6', or 8' sections
 - Choose desired style from page 16 and 17
 - Note rail height (36" or 42")
 - Specify wood or aluminum insert
- Onsite trimming ensures exact fit



Pre-built Rail comes with an installation kit and hardware.

2. DO-IT-YOURSELF KIT

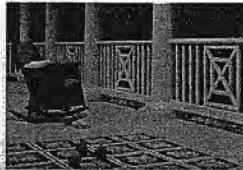
- Choose (8' Savannah or 8' Standard) top rail
- Kit contains top and bottom rail components, all hardware, and accessories
- Balusters sold separately 18 per carton (enough for 8' section)
- Can be used for stair rails
- How to order
 - Choose rail kit (Savannah or Standard)
 - Select baluster design (1 1/2" Square, 1 1/2" Square, and 1 1/2" Turned) and height (32" or 36")

Rail Kit



3. INDIVIDUAL COMPONENTS

- Build your own design
- Mix and match components
- For a complete rail system you will need the following:
 - Top rail - standard or savannah
 - Top insert - wood or aluminum, 8', 10', 12'
 - Balusters - 28 1/2", 32", 36" and 10" (Balusters may need to be trimmed for desired rail height)
 - Bottom rail
 - Bottom insert - wood or aluminum, 8', 10', 12'
 - Support block
 - Fastening kit



Design and build your own style.





- Updates
 - Updated Design Guide
 - Revised, more readily understood guidance for residents on material, roof, deck and other replacement and modifications