

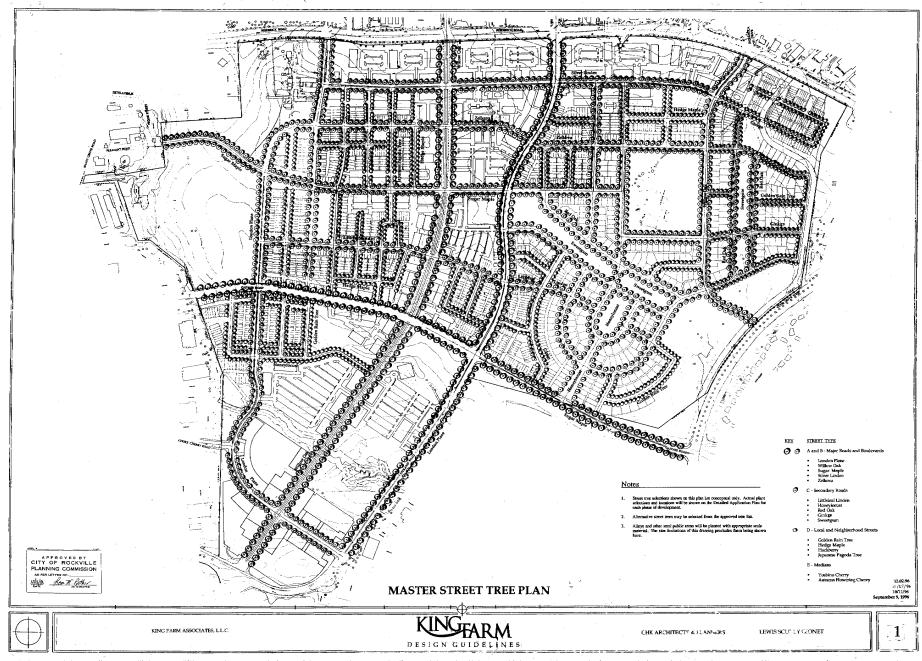
- Design Guidelines
- Modification Guidelines
- Clarifications & Updates



• Design Guidelines

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		DESIGN GUIDELINES
Basic     Data     Description of Change       8,14,97     5-7     Required Alley Lighting		
8         24,497         5.7         Required Alley Lighting           2         12,137         5.7         Perch Construction (typ.)           3         3,888         3         Test Changes (in labels)           2         2,139         3         Test Changes (in labels)           4         1,4,4,4,13         Landesges requirements           5         15 (in 15 soluble)           6         0.5' to 4/7 max, steop high           8         7,13,01         3           42,4.4         Landesges requirements           42,4.4         Landesges requirements           6         0.5' to 4/7 max, steop high	OWNER: KING FARM ASSOCIATES LLC 1934/SHADY GROVE RAAD SUITE 90 ROCKVILLE, MARYLAND 21850	Description       Page #         Master Street Tree Plan       1         City of Rockville : Resolution 10-96       2         Residential Architectural Guidelines       3
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Sec. 2



# City of Rockville : Resolution 10-96

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KING FARM ASSOCIATES, L.L.C.

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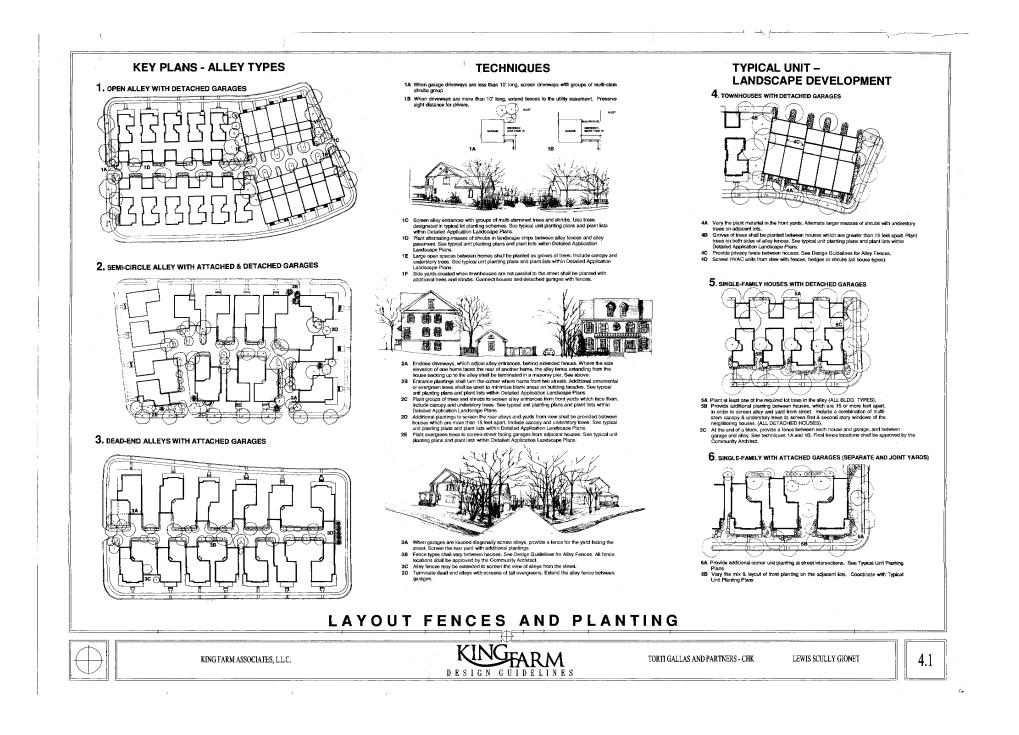
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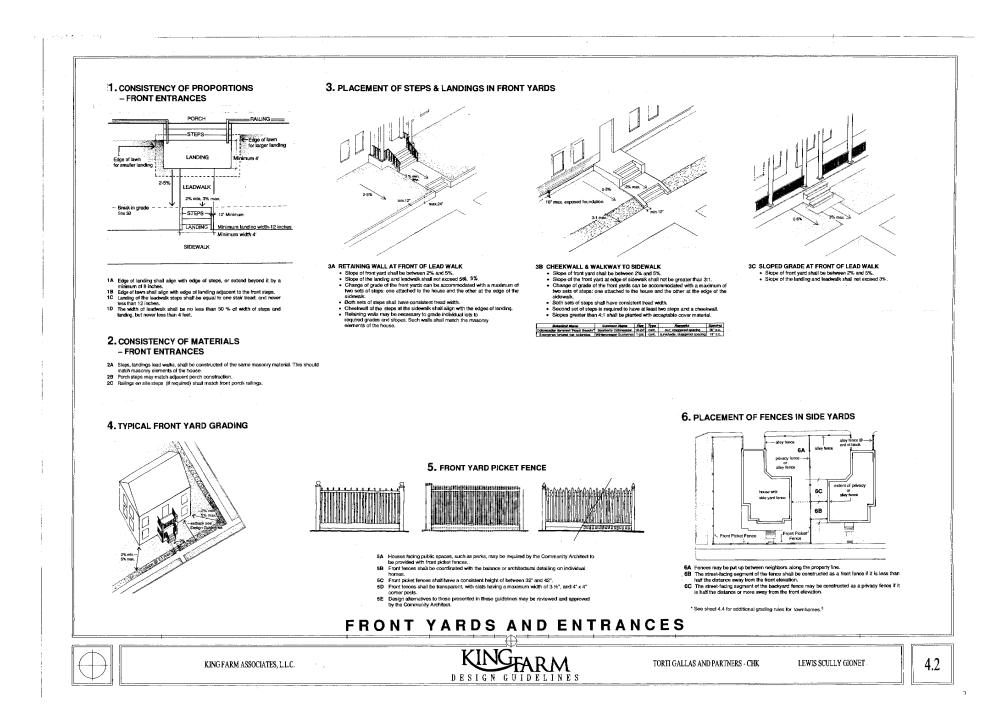
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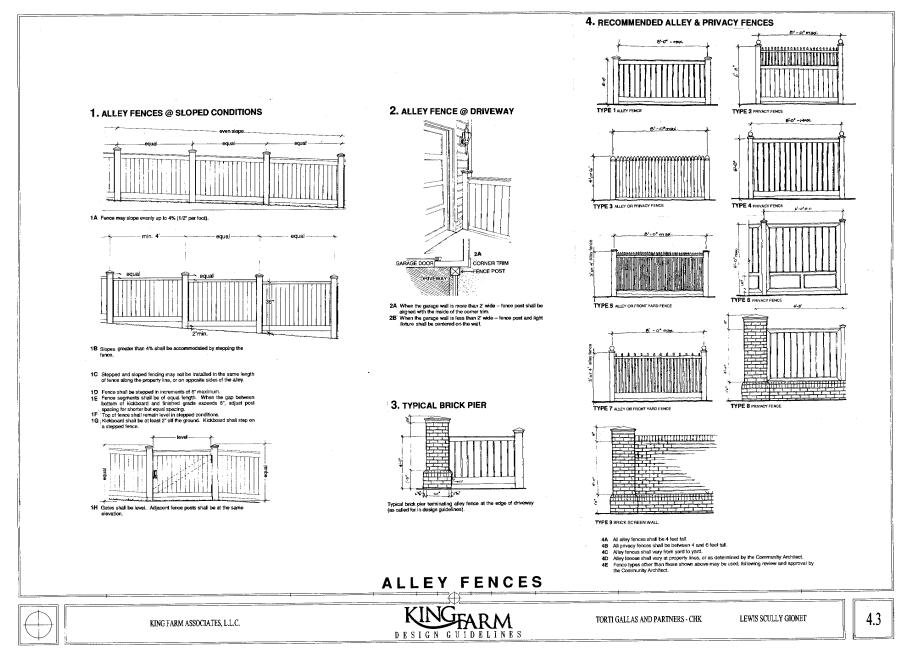
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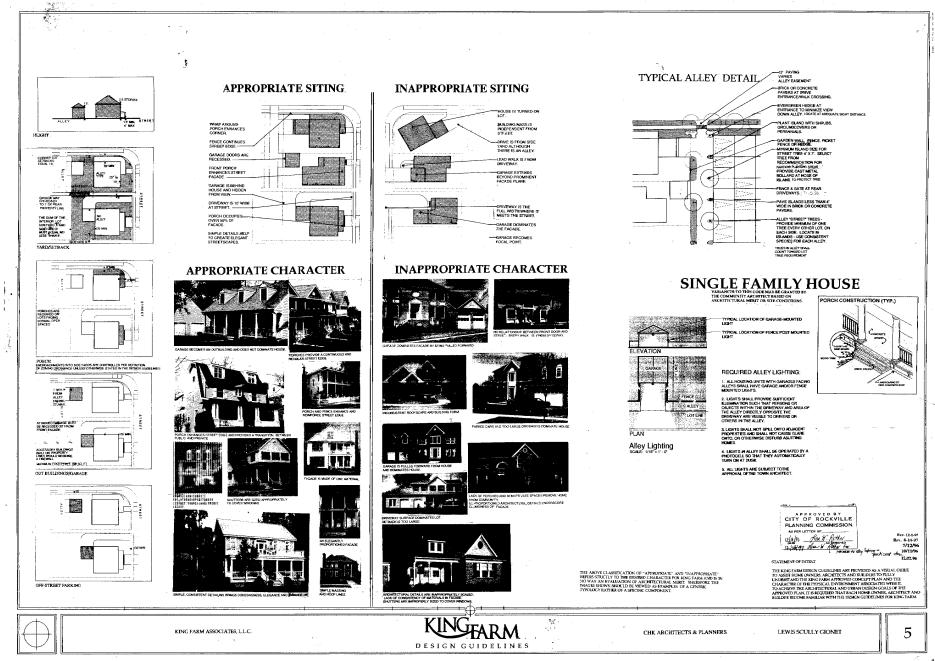
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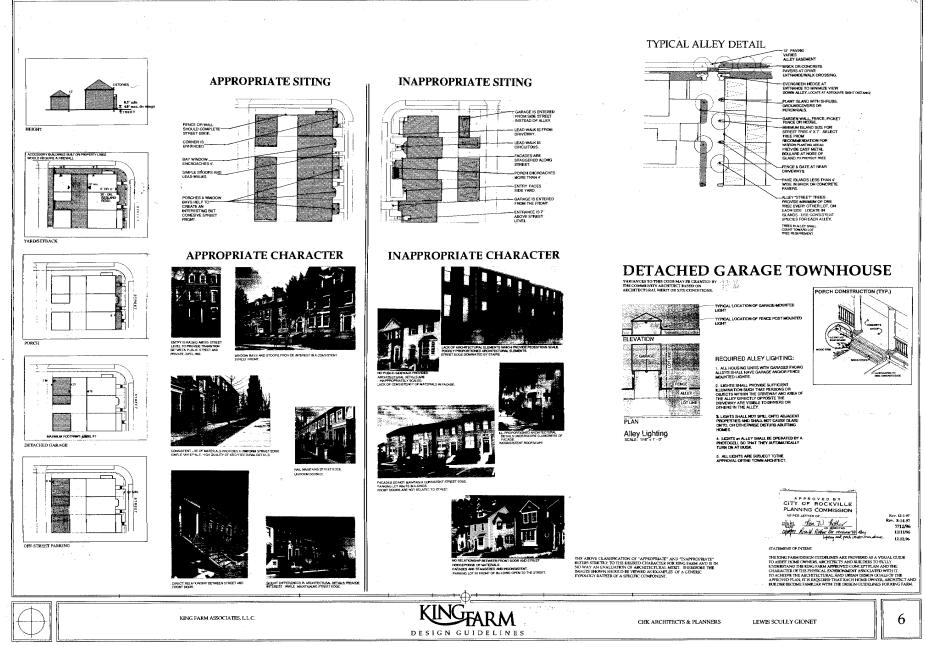
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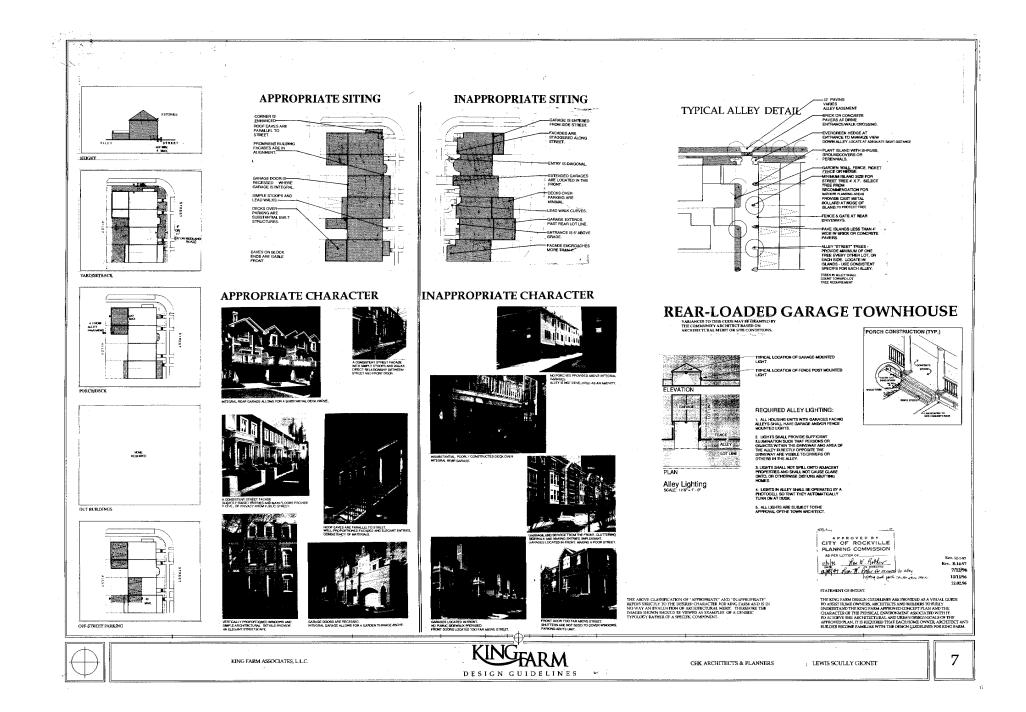










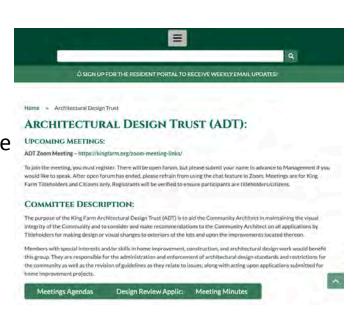




Modification Guidelines

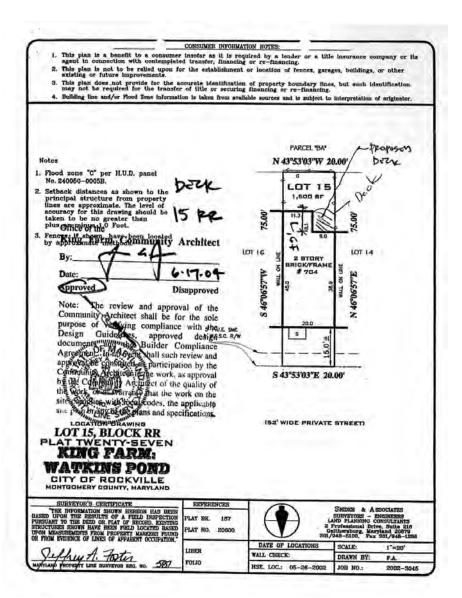
# Basic Background to the Trust

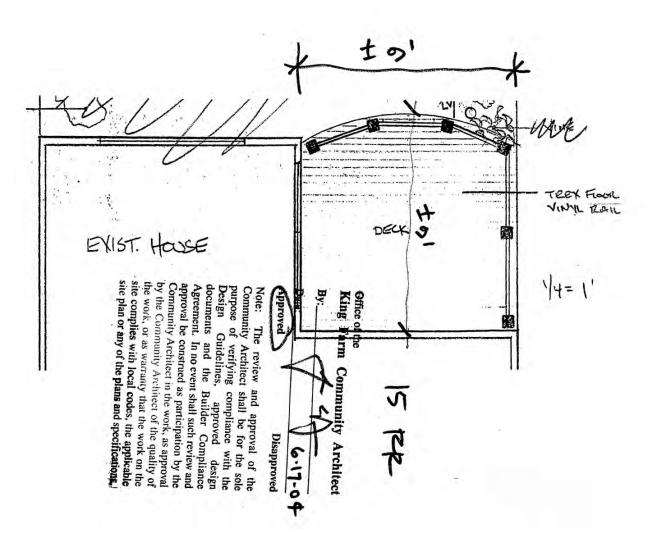
- 4 Citizens and King Farm Community Architect
- Meet one time each month at Community Room in Village Center / Virtually in Covid
- Vision: Maintain and Enhance Community Standards
- What we do
  - Review applications
  - Be Proactive: education and suggest guideline changes to Board
  - Keep it Simple:
  - Keep it Realistic
- Find Updates at Website

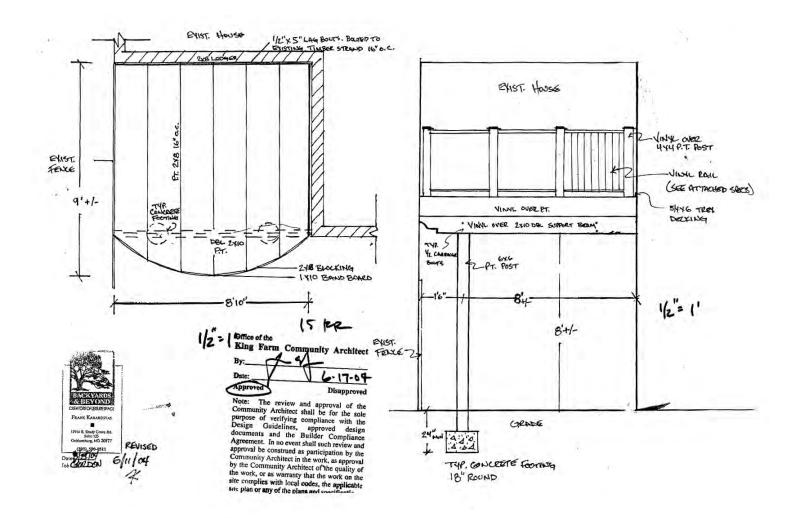


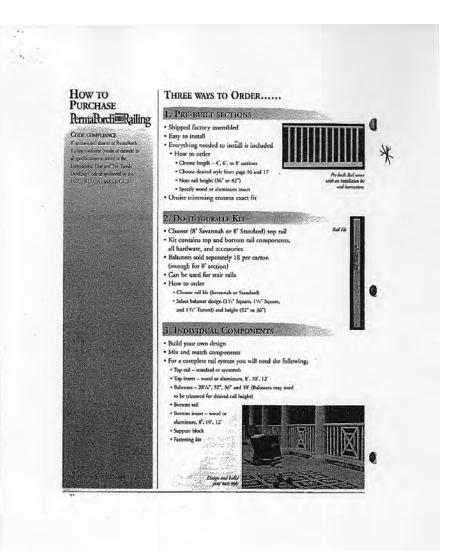
# **Design Review Application**

- Application Process:
  - 1. Fill out Application Completely
  - 2. Turn in to Community Manager
  - 3. Community Manager Reviews
  - 4. Community Architect Reviews
  - 5. ADT Reviews
  - 6. Notification by the Community Manager
  - Less than a month if application is complete













- Updates
- -- Updated Design Guide
- -- Revised, more readily understood guidance for residents on material, roof, deck and other replacement and modifications